

**CONSENT NOTICE PURSUANT TO SECTION 221  
OF THE RESOURCE MANAGEMENT ACT 1991**

IN THE MATTER of Lot 2 DP 20763

**CONO 7890638.24 Conse**

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AND

IN THE MATTER of Subdivision  
Consent pursuant to Sections 105, 108,  
220 and 221 of the Resource  
Management Act 1991

Pursuant to Section 220 (1) (c) of the Resource Management Act 1991 the New Plymouth District Council by resolution passed under delegated authority on 21 July 2006 imposed the following condition on the consent for subdivision of Lot 2 DP 20763; being LT 385658,

*That the number of habitable dwellings on Lot 20 shall be limited to one (1).*

*Buildings and soakholes on Lot 20 shall be set back 15 metres from the top of the gully.*

*Building Development on Lot 20 shall be generally in accordance with House Type C shown on Figure 2 - House Types attached to this Consent Notice.*

*The range of materials used on buildings will be limited to those with a minimum of applied finish, buildings being coloured by the natural patina developed over age.*

**A. External materials shall be:**

*Natural stone; and/or  
Lime washed solid plaster; and/or  
Earth brick; and/or  
Cast concrete; and/or  
Timber; and/or  
Powder coated zincalume.*

**B. Roofing materials shall be limited to:**

*Timber shingles; and/or  
Natural slate; and/or  
Copper; and/or  
Textured bituminous membranes in tile form; and/or*

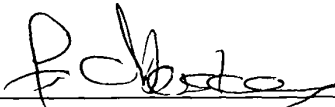
*Long run non-reflective roofing material.*

C. *Other external components will be limited to:*

*Selected use of a range of powder coated exterior window joinery and stormwater systems in a range of colours matching local flora  
Metal stormwater systems.*

DATED at New Plymouth this 7 day of March 2008

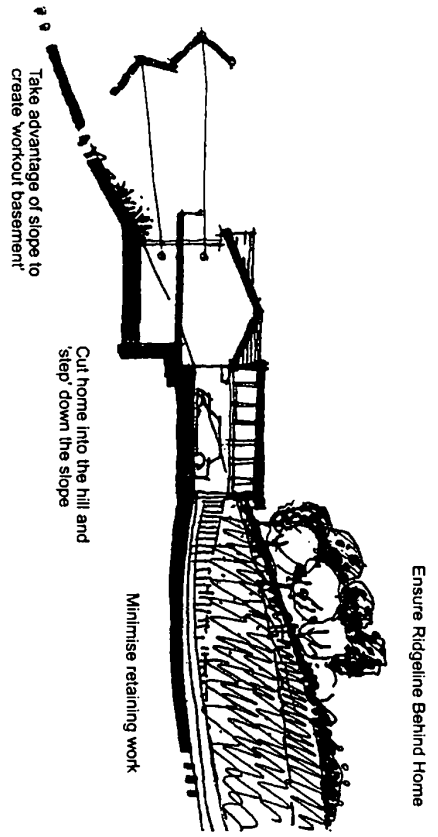
Signed by the said FRANK VERSTEEG )  
Principal Administrative Officer )  
of the New Plymouth District Council )



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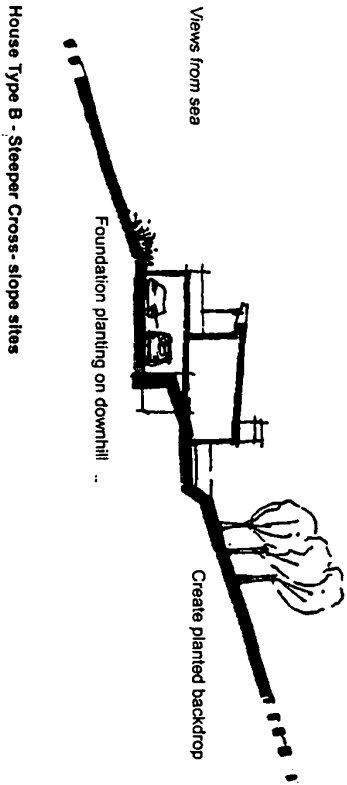
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NOTE: Indicative Roof Lines.



House Type A - below promontory sites

Ensure ridgeline visible behind home

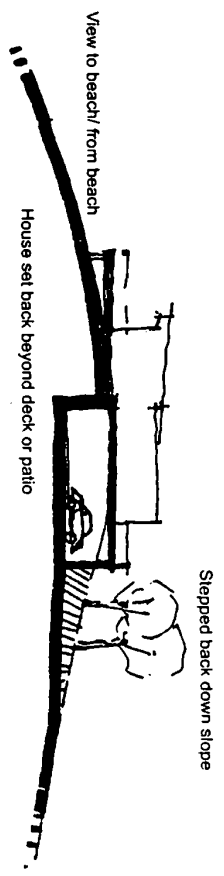


Low pergolas and bay windows help to reduce the visual bulk and scale of larger homes



House Type C - Low slope sites (Single floor houses on flat or low slope sites)

Type D - Building up to prominent landform stepped back down slope



Enclosure Option'

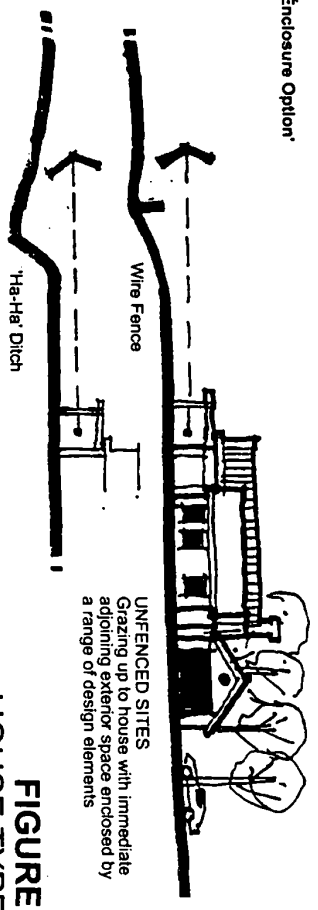


FIGURE 2 HOUSE TYPES

Level 3, IBM Building, 82 Wymndham Street, PO Box 91250, Auckland  
Tel: 64-09-339-2526 Fax: 64-09-339-5300 Web: www.bodfarnskell.co.nz

TAPUAE FARM PARK  
Washer Family Trust  
Typical Cross-Sections

Job No: 05306  
Date: 19/10/2005 Revision: -  
NOT TO SCALE  
U:\Mchard\200608\05306 (FN) Washer Tapuae Stage 3\CAD\05306\_Typical crosssections.dgn © Brian Marshall Limited 2005