

July 2023

Landscape Memo

NPDC SUB22/48271

Lot 2 DP 484251

373 Maude Road, Korito



bluemarble
A world of difference

Introduction

1. This landscape memo is to provide NPDC with additional information and assessment of rural character and visual amenity effects (landscape effects) for a proposed two-lot (technically three lots) subdivision (SUB22/48271) at 373 Maude Road, Korito.
2. Council has received a submission in opposition to the proposal from the owner/occupants of 335 Maude Road (D&M Murray).
3. This memo focuses on potential landscape effects on 335 Maude Road, and also provides a Landscape Mitigation Plan (Appendix B) to ameliorate identified landscape effects.
4. The application is a Discretionary Activity under the Operative District Plan (ODP) and Non-complying under the Proposed District Plan (PDP).

Proposal

5. The proposal is to create three-lots from Lot 1 DP 521015, which is 5.6300ha in area. A Subdivision Scheme Plan has been prepared by Pat Sole Surveyor (**Figure 1**). In addition, DeLaco Surveyors have undertaken a topographical survey (**Figure 4**).
 - Lot 1 is 2.7ha in area and has a proposed building platform area identified, the position of which has been refined and is shown in **Figure 2**.
 - Lot 2 of the proposal is a 220m² 'road to vest' Lot.
 - Lot 3 is 4.2ha and contains the existing dwelling and pond.
6. The submitters in opposition live at 335 Maude Road, the proposal site's northwestern neighbour, (**Figure 2**).

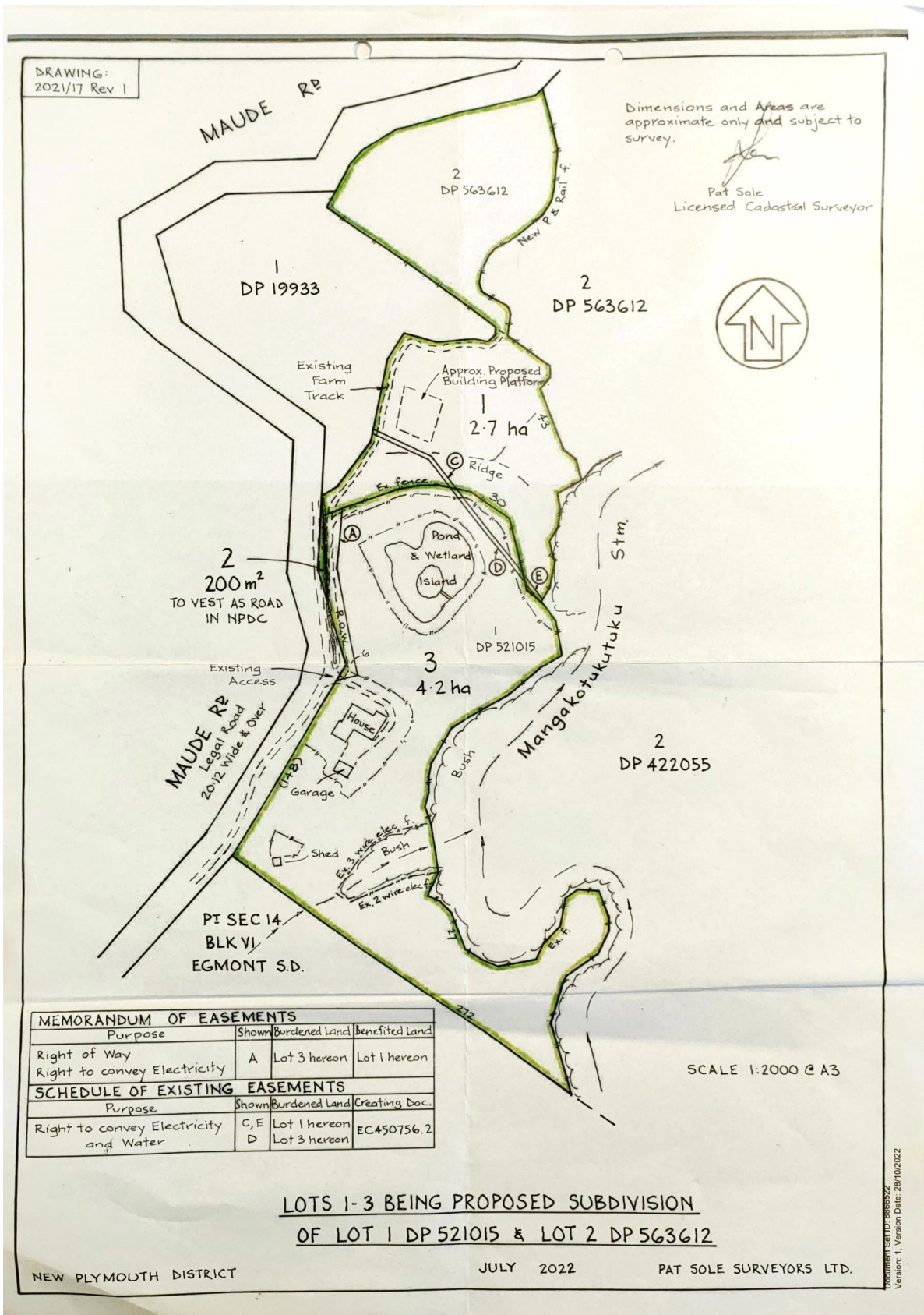


Figure 1: Subdivision Scheme Plan

Dwelling at 335
Maude Road

Shed at 335
Maude Road

Approximate
position of vehicle
crossing

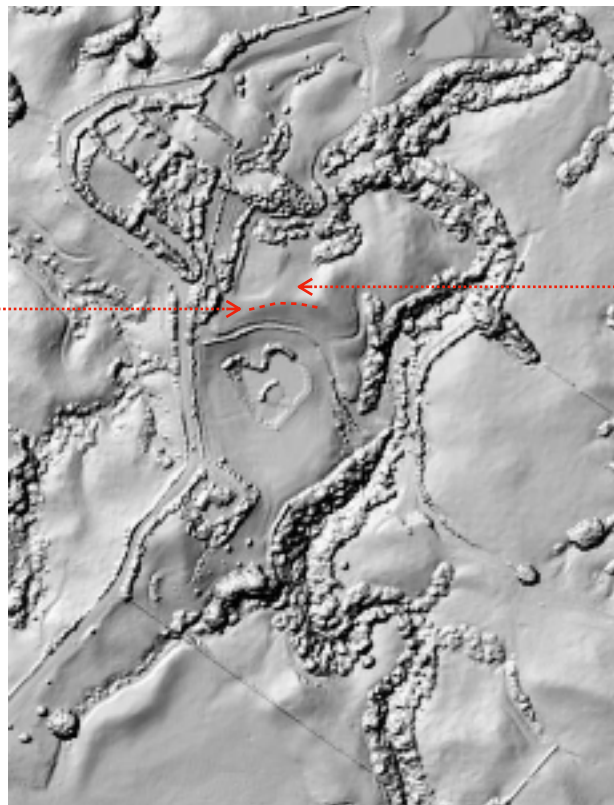
Dwelling at 373
Maude Road



Proposed 300m² building
platform area on proposed
Lot 1

Figure 2: Site Plan

Distinctive ridge



Proposed 300m² building
platform area on proposed
Lot 1

Figure 3: Topography (TRC Lidar)

GENERAL NOTES:

- This indicative plan has been produced for a simple boundary marking and/or set out survey and shall not be used for any other purpose.
- All areas and boundary dimensions are subject to a formal and final cadastral survey if not already surveyed by Delaco Ltd. All boundary information prior to this is for reference only and shall not be used for any other purpose.
- "Good Ground" survey calculations have not been shown on this plan.
- Copyright Delaco Ltd. All rights reserved. Any third party users shall gain approval from Delaco for any change or information in addition to the drawings.

LEGAL DESCRIPTION:

Address : 373 Maude Road
Lot Number: Lot 1 DP 521015
RT :
Site Area :

DEVELOPMENT RULES:

District Zone :
Roadway Hierarchy :
Building Height :
Road Setback :
Site Setback :
Open Space :
Permeable Area :
Site Coverage :
Minimum Lot Size :

PROPERTY INFORMATION:

House Area :
Site Coverage % :
Foundation Type :
Cladding :
Roofing :
Stores :

SITE SURVEY:

Topographical Information obtained:
Vertical Datum:
Origin of Levels:
Reduced Level:

SOIL REPORT:

Soil Report data from:
Phone:
Date Completed:
"Good Ground" Achieved:

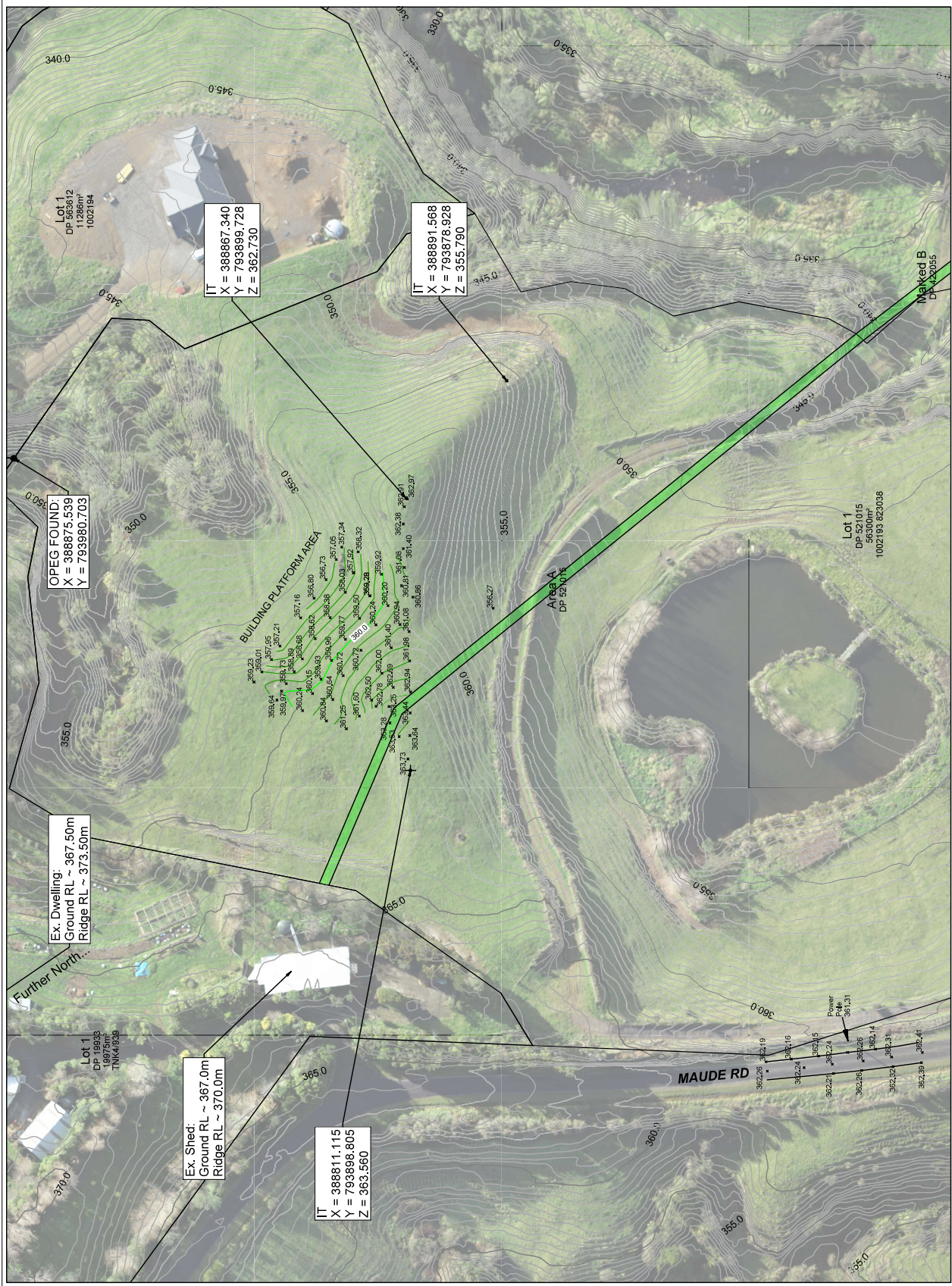
SHEET SPECIFIC:

NOTES:
I hereby certify that the information shown on this plan to be true, correct, and accurate for its intended purpose.

GJ Pike
Licensed Cadastral Surveyor
Grey contours are sourced from LINZ LIDAR Database.
Delaco accepts no responsibility for accuracy and this must not be used for any other purpose than indicative reasons only.

Aerial photo and adjoining building ridge levels were surveyed using photogrammetry and accuracy is +/- 250mm in the vertical.

Spot levels shown on the building platform and road areas have been surveyed by GNSS and accuracy is +/- 30mm in the vertical.



Topographical Survey
Lot 1 DP 521015
373 Maude Road
New Plymouth

DELABCO
SURVEYING + ARCHITECTURE

Client: Pat Sale Surveyors Ltd

Sheet: Topographical Survey

Do not scale off drawings. Contractor shall verify and be responsible for all dimensions on site and locate all existing services, structures and boundaries between information on the drawings and conditions on site. Delaco must be notified immediately.

Ref.	Description	Date	Drawn
			GJ
			Project no.
			22043
			Scale @ A3
			1/750

230717

Figure 4: Topographical Survey (DeLaco)
Landscape Memo, 373 Maude Road, Dorito

Assessment

Landscape Character

7. The site comprises an undulating topography as shown **Figure 3**. The pond is on land that slopes steadily east to the Mangakotukutuku Stream. North of the pond the land rises to a distinctive ridgeline just south of the proposed building platform area (**Figure 5**). The dwelling at 373 is positioned on an elevated part of the site, as is the dwelling at 353 Maude Road. The area's rural character is one of open expansive elevated views from Maude Road (which runs along a narrow ridge) to a landscape where topography, vegetation, streams, and building pattern combine to create a layered three dimensional landscape. Dwellings in the area generally screened from the road by shelter and amenity vegetation.

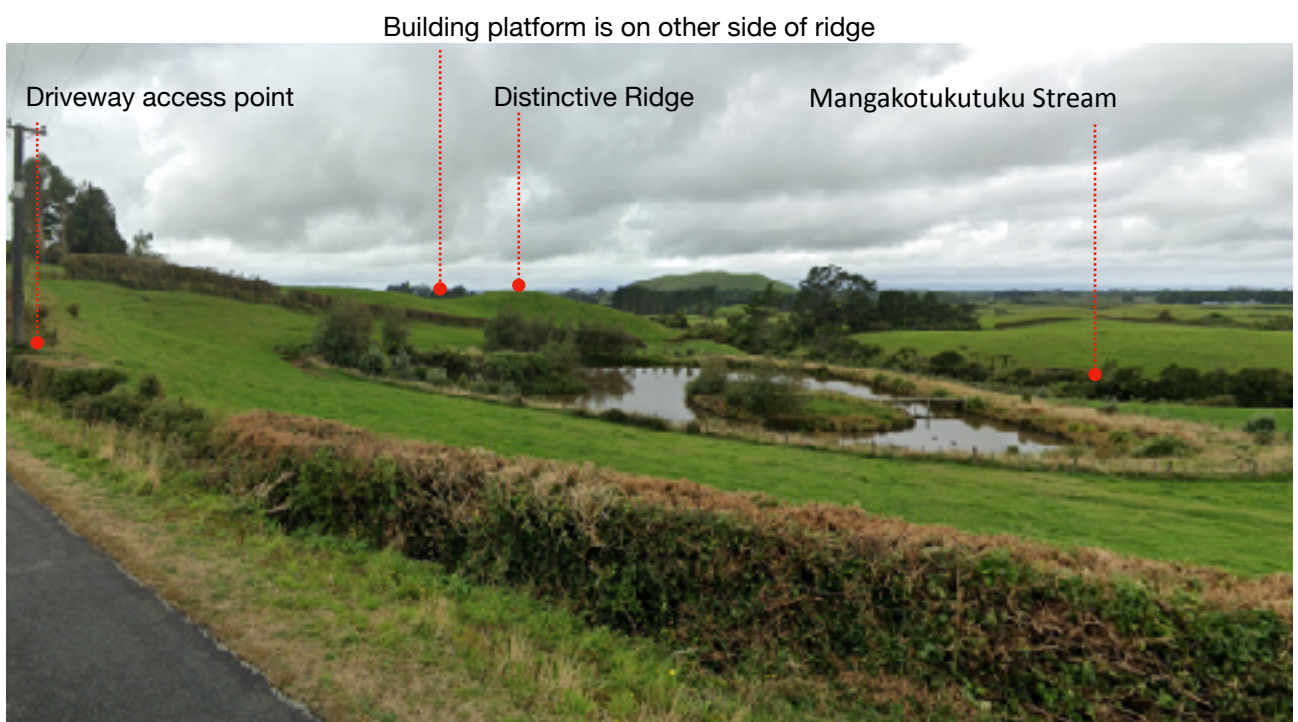


Figure 5 : View northeast across site from Maude

8. The impact of a new dwelling on proposed Lot 1 will create an addition to the area's built form but given the landscape pattern as described above, the effect on character will be very low due to its discrete setting which is well away from the road and is essentially 'tucked' in behind a ridge. A portion of the roof line is likely to be visible above the ridge but this will only affect the dwelling at 373 (applicant) and be visible as a transitory view from Maude Road from the position shown in Figure 5. The site and broader area will not appear overly urban as the vegetated and undulating pastoral landscape will continue to be the dominant landscape character.
9. The position of the proposed building platform will create a very low level of effect on the site's landform. The distinctive ridge just south of the proposed building platform area will remain intact and moderate the effect of the new dwelling as an urban element in a rural setting. The driveway to the new dwelling will follow an existing farm track, albeit a new entrance will be created as shown in **Figure 2**. Overall the sites' defining landforms will remain intact and legible.



Figure 6 : View towards building platform from immediate east of the shed on 335 Maude Road.

Visual Effects

10. The assessment of visual effects focuses on potential effects on 353 Maude Road (submitter). Without mitigation, a future dwelling would likely be partially visible from parts of their property, in particular from the shed nearest the site and from outdoor paddock/orchard areas. Views are partially mitigated by intervening vegetation on the submitter's property. However, because the views that are available are overtly rural, the proposal would likely add an urban element into their view that could affect visual amenity. Given this, without mitigation the level of visual effect is rated as low-to moderate.

Mitigation

11. I am aware that the applicant has proposed design controls to mitigate effects on 353 Maude Road, many of which will ameliorate landscape and visual effects. These include screening, a limit to one dwelling on Lot 1, a no build area (40m wide), restricted dwelling height, reflectivity controls on dwelling cladding and roofing, colour controls on watertanks, and fencing typology controls, exterior lighting controls and driveway materials. These are in addition to the defined building area. To further reduce effects screen painting is proposed - as shown on the Landscape Mitigation Plan (appended to this memo - **Appendix B**).
12. In my opinion these measures will maintain rural character by reducing the visual impact of the future dwelling on the submitter's property to an extent where effects will be **very low**.

Conclusion

13. This memo considers that the proposal will have very low effects on the area's rural character as the dwelling is confined to a discrete location and is subject to design controls. Rural character is also maintained through the avoidance of modification to the site's prominent ridgeline.
14. Visual effects on 353 Maude Road, can be mitigated to reduce effects to **very low** through screen planting as shown on the **Landscape Mitigation Plan**.

Richard Bain

Landscape Architect



2. APPENDICES

Appendix A

[Landscape Assessment Guidelines](#)

Appendix B

[Landscape Mitigation Plan](#)

Appendix A

Landscape Assessment Guidelines

Methodology is based on the New Zealand Institute of Landscape Architects (NZILA) **Te Tangi A Te Manu** (Aotearoa NZ Landscape Assessment Guidelines), summarised as follows¹:

Landscape effects are consequences for landscape values which arise from changes to a landscape's physical attributes. Change itself is not an effect. Rather, an effect is an outcome for a value. Landscapes are always changing.

To assess landscape effects, it is therefore necessary to first identify the landscape's values and the attributes (physical characteristics) on which such values depend.

Landscape effects can be adverse or positive.

Effects are considered against the existing landscape values, and the outcomes (or landscape values) sought in the statutory provisions.

It is important to assess both the nature and magnitude of effect. Magnitude only makes sense as a descriptor of the nature of effect. The magnitude is not the effect.

As with all matters of interpretation and appraisal, explain and justify assessments of effects with reasons.

Visual effects are a subset of landscape effects. They are effects on landscape values as experienced in views.

A typical 'proposal-driven' assessment of landscape and visual effects includes the following steps:

- *identify the relevant landscape context and its appropriate scale(s) (i.e. extent)*
- *identify landscape values*
- *review the relevant provisions*
- *identify the issues*
- *assess the nature and degree of effects—with reasons*
- *design measures to avoid, remedy or mitigate adverse effects and to achieve positive effects (see Chapter 7)*
- *recommend conditions to ensure landscape outcomes.*

A seven-point scale (over) is used to summarise the magnitude of effects, noting that too much weight should not be placed on these ratings in isolation from substantive assessment. A rating of magnitude is merely a descriptor that helps understand the effect. The primary matter is the nature of the effect. Magnitude is not the effect.

¹ **Te Tangi A Te Manu** (Aotearoa NZ Landscape Assessment Guidelines) Chapter 6 Whakamana te Whenua (Landscape Effects) Whakarāpopototanga (Summary)

NZILA 7-point scale	Auckland Council 3-point scale. Information Requirements for the Assessment of Landscape and Visual Effects	RMA equivalents	
Very Low	Low A slight loss to the existing character, features or landscape quality	Less than minor	
Low		Minor*	
Low-mod		Some real effect but of less than moderate magnitude and significance. It means the lesser part of the 'minor-moderate-major' scale	
Moderate	Moderate Partial change to the existing character or distinctive features of the landscape and a small reduction in the perceived amenity	More than minor	Significant
Mod-High	High Noticeable change to the existing character or distinctive features of the landscape or reduction in the perceived amenity or the addition of new but uncharacteristic features and elements		
High			
Very High			
Effects can be positive and adverse			
*Determination of Minor A consent can be publicly notified if is the decision maker considers that the activity will have or is likely to have adverse effects that are more than minor. Where public notification is not required, limited notification must be given to those who are affected in a minor or more than minor way (but not less than minor). In relation to this assessment 'less than minor' can be characterised as 'very low' and 'low' on the 7-point scale.			