

BEFORE INDEPENDENT COMMISSIONER

AT NEW PLYMOUTH

Under the Resource Management Act 1991

In the Matter of an application by Heinrich and Sophie Fourie under s221(3) of the RMA to vary a consent notice condition applying to the property at 263 Weld Road Lower, Oakura

Hearing Statement of Rebecca Shaw
Date 15 July 2025

HEARING STATEMENT OF Rebecca Shaw

Introduction

1. My full name is Rebecca Anne Shaw.
2. Together with my wife, (Barbara) Leanne Shaw, we own the property located at 255 Weld Road Lower, New Plymouth.
3. I am making this statement in support of the submission against this application by our neighbours at 263 Weld Road to vary the consent notice on their property which will mean the authorised dwelling location will move from what is currently 'Area Z' on the consent notice, to 'Area A' – the location of their current 'shed'.

Our Property

4. We purchased our property in July 2024 as we fell in love with the 'park-like grounds' and amazing viewshaft that was on offer. We also loved the peace and quiet, privacy and open space that it offered.
5. We have two children, both of whom are neurodiverse. One of them also has Cerebral Palsy and Epilepsy. Part of our decision to buy the land was to have options in the future, should they need to stay living with us in a 'granny flat' or cabin in the future.
6. We do not have the ability to subdivide our land.
7. The dwelling itself is the original farmhouse to the wider surrounding properties in which the land has since been subdivided off.
8. We wanted to keep the original dwelling as respect to the history of the land and decided to undertake a major renovation project rather than demolition. This has been a costly undertaking as the condition of the house was very poor when we purchased it.
9. Since January 2025 qualified and licensed tradesmen have been working on our property as per our building consent which was approved by New Plymouth District Council (NPDC) in December 2024.
10. We have complied with all requirements of the Building Act and in respect of the work we have undertaken, and have not had to apply for any applications under the Resource Management Act.

11. We have passed all inspections to date and followed all requirements as set out by the NPDC.
12. We are hoping to finish with Code of Compliance in August 2025.

The original subdivision

13. As we purchased our property in 2024 we were not part of the original subdivision process that created 263 Weld Road.
14. When we purchased our property, there was no disclosure of the unlawful activity going on at 263 Weld.
15. We relied on the information provided by NPDC in the form of a Land Information Memorandum (LIM, attached). The LIM provided to us only contained disclosure of the original subdivision of 255 Weld Road to form 249 Weld Road (Beatons).
16. In my LIM report there is a Landscape and Visual Impact Assessment prepared by Richard Bain dated June 2014. On page 21 of this report under the headline Mitigation, subheading 'Development Restrictions' it states that a "No habitable building zone applies from 135m west of the weld road boundary", as shown in fig 17. This figure further defines no habitable buildings in the red zone which is where area Z on this application lies.

9.1.2. **Lot 2:** A No Habitable Building Zone applies from 135m west of the Weld Road boundary, as shown in Fig 17.



17.

18. Based on the information provided by the NPDC we were of the belief that no habitable dwelling could be built on that area. At the time of purchasing our land we could see building work happening which was confusing but felt reassured by the LIM that no one would be living in it.
19. Some weeks after moving in we had a friend visit and she stated "That's not the building platform (referring to 263 Weld Road)" She explained she had seriously considered buying the section so was privy to information pertaining to the building platform.
20. After this information was received, we looked further into the layout of the land and realised 263 Weld existed and was now its own section and not part of 249 Weld. The layout of the land is somewhat confusing with the paddocks wrapping around our land to the right being part of 249 Weld.
21. On 20th October 2024, after returning from an overseas trip we noticed that the building at 263 Weld was now occupied as vehicles did not leave each evening as they did before we went away. Our property looks directly across the neighbouring paddock and at the driveway for 263 so we see all traffic that comes and goes from it.
22. On 30th October 2024, I met one of our neighbours, Nick Hackling and asked him about 263 Weld and only then did I become aware of the scale of the situation.
23. We felt disappointed that the information given to us by NPDC on purchasing our property failed to include the subdivision of 263 Weld Road. This would have helped with our decision making when purchasing it.
24. We had some comfort at the time of purchasing the property, that a land covenant had been put in place by the Beaton's (249 Weld) to protect our viewshaft across their paddocks. The land covenant also extends onto a part of 263 Weld. We fully intend to enforce this land covenant should the Fourie's breach it.
25. Because we now know that 263 Weld is a stand alone property we risk the planting of trees that block our amazing viewshaft, as per their submitted landscape plan. This is in contrast to the belief that 249 Weld (Beaton's) owned it and were unlikely to block their own views as we share a slightly smaller viewshaft then them.

Background to the Fourie's application

26. On Monday 3rd February 2025, Leanne was approached by Henirich Fourie with a copy of their plans and wanted us to support his submission to change his building platform.
27. Later that evening I returned home and looked over what he had dropped off. I replied that evening to Henrich via text message stating, in summary, we would not be supporting his application due to our belief they had not followed the correct process when building their dwelling and the responsibility solely lies with them to build on their building platform.
28. The response I received from Henirich stated *“Hi Becs, Thanks for getting back and being straight up. Totally get where you are coming from. We have had a bit going on over the past couple of years and have been working with council the whole time, the big change of plans was not being able to build a house due to health reasons and occupied the shed that has consent, I would like to sit down with you guys and our planner and discuss with you guys and our planner that has been working with the council and explain this process. Cheers”*
29. In response, I declined to meet and advised them to work through it with the council. Our view was that this was all too late, and from the get go they should have spoken with all neighbours.
30. On Wednesday 5th February 2025, I received a letter in my letterbox with no name or address, but the envelope was marked with “Oakura Medical Centre”. At the time of receiving this letter I was enrolled as a patient, so I opened the letter.
31. The letter was written from Susie Anderson, Sophie Fourie’s mother, who lives at 385 Weld Road. As per the Companies Register she is also a shareholder in Coastal Medical Limited under the name Susan Chitty. Oakura Medical Centre, which is now known as Coastal Medical Oakura, is part of Coastal Medical Limited as per <https://coastalmedical.nz/>. Her husband Dr Brent Anderson is a practising Doctor at this centre, and has in the past treated me.
32. The full letter is included in my original submission but I wish to draw attention to the part that implies we were bullied by Nick Hackling and that we should sign off on the application with strong reference to the incident of cardiac arrest that Henrich went through 2 years ago, as we were unkind to this situation.

33. After reading this letter, I vividly remembered this incident happening. At the time I was working for Sport Taranaki and one of the ladies there was the chair of Coastal Rugby and described what had happened, which aligned with the statement above. I only worked for Sport Taranaki in 2022 so this dates back a few years.
34. I wish to state that while I will never understand what it is like to go through something like this and do not wish to downplay the events that happened, I want to draw attention to the fact alone, and the fact being that this event happened in May 2022.
35. The property at 263 Weld Road is showing with a sold date of October 6th 2022 on multiple websites such as [homes.co.nz](https://www.homes.co.nz) and [realestate.co.nz](https://www.realestate.co.nz).
36. The information received by Henrich stating *“not being able to build a house due to health reasons”* and the letter from his mother-in-law stating the episode of cardiac arrest were related to them not building a house on their building platform perplex me when the dates don’t align.
37. I also know that nearly every evening since we moved into our property we would see a Clelands construction van leave the property and head down Weld Road. When Henrich dropped off a copy of his submission for me to sign, he also attached his Clelands business card, and I now know it to be him driving the Clelands van.
38. To the best of my knowledge he was the one building the dwelling each day, despite the health issues he so strongly claims have caused his family hardship and the need to move into a ‘shed’.
39. I also wish to reference the Fourie’s application to the council in appendix F titled “Barn Style House Design” which includes drawings by Hill Design Engineering for a ‘proposed shed’ dated February 2023.
40. Whilst this ‘Shed’ / Barn house design contains nothing inside of it it is clear that the intention is to convert it into a house from the very beginning, especially when the three bay shed that sits next to it is what is generally accepted as being a typical shed.
41. As we were watching building work happen on a daily basis since moving into our property, I did not accept Henrich’s response in which he said his family had to move into the ‘shed’ implying to me that they were camping out in an empty shed and facing financial hardship that meant they could no longer build a house on Area Z and needed to look at a cheaper option such as a shed conversion.

42. Since this application has been made, the Fourie's have continued to develop their land around the house. We have a direct line of sight and there have been piles of dirt arriving, a small hire like digger doing landscape work around the house, and a new entrance way being built. Signs that contravene hardship.

Response to NPDC Planners Report

43. As stated the Fourie's purchased 263 Weld in October 2022, yet they did not move into the 'shed' dwelling until October 2024. As previously stated we would see Henrich's work van, along with another vehicle that we now know to belong to them head down Weld Road at the end of the day. We now know on the balance of probabilities that they were heading down to Sophie's parents estate at 385 Weld.
44. I struggle to understand why when NPDC conducted a site visit of 263 Weld on 4th October 2024 and saw that the property had already been converted, with later confirmation from the Fourie's that the conversion had happened, that enforcement action against them for occupying an unlawful dwelling was not taken. Despite the fact that Sophie's parents estate is on the same road and was good enough to live in in the past. This is one example of negligence from NPDC.
45. A second act of negligence by NPDC is why they allowed a consented shed, with a barn house design, to be built with no enforcement action taken along the way.
46. On reading the s42A report I was also disheartened that this report was written from the angle of how to get the Fourie's application across the line by mitigating the effects on the neighbours, rather than addressing the fact that the property has, in fact, already being built, is habitable, and that it should be addressing the breaches and declining the application, rather than finding a way to support the application.
47. The bottom line is that the NPDC has been negligent and shown complete incompetence in allowing a dwelling to be built outside of its building platform and then supporting the application to get it approved with total disrespect to all neighbours who supported the original subdivision and to those who now oppose this RMA application.
48. It is also a slap in the face for all of us who built or renovated our houses with the proper consents and approvals, and who paid all the fees to NPDC to do it right.
49. If this application from the Fourie's is approved it creates very dangerous case law that would allow anyone to get consent for a shed, build a house, and then by referencing

this case law, have it signed off and approved despite a lack of building inspections or land covenants.

Response to Applicants Evidence

50. I earlier referenced figure 17. from Richard Bain's landscape report in respect of a no building zone. I now wish to reference the NPDC subdivision report (Sub 22/48035), in which Richard Bain's Landscape and Visual report formed part of it. While the original report is not part of the documents I have, it quotes his expert opinion of forming Area Z as the building platform.
51. When comparing the image of fig 17. and the image displaying Area Z, we see that Area Z does sit in the no build zone, however it is positioned off to one side and distinctly tucked into the embankment to impose the least amount of visual impact.
52. This is supported by Mr Bain himself *"Mr Bains LVIA report further states that effects from the creation of Lot 2 are reduced by the identification of a Proposed Building Platform (Area Z on Subdivision Scheme Plan). This tucks the dwelling towards the embankment and prevents the wider open space on Lot 2 being built on. The access way represents a small change and in combination with the dwelling creates a very low effect on landscape character."*
53. Yet now, in this application Mr Bain's Landscape Memo dated August 2024, as well as his updated report in May 2025, supports the conversion of a shed to a habitable dwelling in Area A, with complete disregard for all of his recommendations in reports he provided in two previous subdivision applications.
54. The question should be asked as to why Mr Bain has suddenly had a change of heart on this non habitable building area. In the first subdivision of 255 Weld to create 249 Weld, he stated, and the council accepted, a no habitable build zone. Then in the second application which saw the creation of 263 Weld from 249 Weld, he further supported this non habitable zone by identifying Area Z as it would have the least impact.
55. Secondly, Mr Bain writes in his Landscape Memo dated August 2024 in respect of 255 Weld Road *"This property has ... no view of the existing shed to be converted."*
56. This fact is blatantly false as I have a direct line of sight from multiple rooms inside my house, garden and outdoor area, of the current dwelling at 263 Weld.

57. I feel you should be careful when considering the veracity of Mr Bain's statements and factor in how easy it has been for him to go against what he stood for in two previous subdivision submissions. The question should be asked what has motivated him to change his viewpoint.
58. Furthermore, I feel it is too easy for 'experts' to say how all of this affects those who actually live in the location in which they refer to. The strength of the impact should lie with those who currently live here and experience it first hand. We find ourselves in a unique position where the dwelling has already been built and myself and others can comment first hand on these lived experiences.

Effects on us

59. As the dwelling is already constructed on Area A we have experienced first hand the effects of living with it in this location. We did not move to a rural location to look directly into our neighbours dwelling and had more privacy living in suburbia at our previous property.
60. We look directly at the dwelling at 263 Weld from our master bedroom and have lost privacy in what would be a room that we should feel private in.
61. Our outdoor area, as per our building consent application, converts our free standing garage to an outdoor patio area where our spa sits. The level of comfort when enjoying our spa is reduced due to the Fourie's dwelling looking directly up at us.
62. We have the most amazing viewshaft, one that we feel so grateful to have, especially coming from Auckland, yet it's compromised by a dwelling being built outside of its building platform and aggressive and extensive planting as a direct result of this application in an attempt to hide the dwelling. Which is also supported in part by the NPDC as detailed in the S42a report, although they share some concerns with the extent of planting, but still in part largely support it.
63. If Area Z remains the building platform I believe the most we would see is the roof of the dwelling. Furthermore, Mr Bain's Landscape memo Addendum dated May 2025 refers to the visual impact of 255 Weld in which he now states *"This property has no view of the consented building platform area from its dwelling or outdoor living areas. Therefore, a dwelling that complies with the consent notice conditions and PDP-AV parameter (the Consented Dwelling) would create no visual change from that presently experienced."*

64. I believe that the location of the dwelling in conjunction with the aggressive planting will completely change the landscape of the area and not only affect my viewshaft but those around us. Especially when land covenants were put in place for the sole reason to try and protect the viewshafts.
65. This application itself has caused stress on an already stressful situation for myself and my family. We have faced multiple challenges living for the last 6 months in a motorhome and small cabin on our property. As well as challenges that come with renovating, which has been more of a rebuild from the floor up.
66. We have faced our own financial and health related hardship and continue to do so until we have completed our renovations. Yet, this has not been used as an excuse to not follow the rules and I would expect everyone else to be held at the same standard.

Conclusion

67. We feel that we have been let down by the NPDC from the outset. There has been a lack of disclosure of valuable information in our LIM in respect of the subdivision of 263 Weld. They have also allowed a shed to be converted into a dwelling without putting a stop to it, and finally they now support this RMA application.
68. I personally would never support a subdivision application in the future and others should be cautious as this application shows that what is agreed upon can be ignored and altered at any time and the original decision actually has no standing.
69. This application also shows that anyone can build a house disguised as a shed and there be no implication from NPDC. It opens the door for a way around current laws and legislation.
70. In regards to my property, I have detailed the impacts of changing the building platform in respect of reduced privacy on my property and find them to be significant.
71. I have also detailed the impact of the aggressive and extensive planting and find them to have a significant impact on my viewshaft.
72. I ask that you decline moving the building platform and enforce Area Z, take enforcement action in respect of an unlawful building being inhabited, and enforce the conversion of the dwelling back to an empty shed as per the consent plans. Finally, there should be

removal of the aggressive planting and set limitations on what can be planted in order to protect the viewshaft of all surrounding properties.

73. I believe, beyond reasonable doubt, that this has been a deliberate and planned course of action by the Fourie's from the very beginning to build their house in the location they wanted with total disrespect for the covenants in place, and their neighbours. I believe that the location they chose provides them with better views than they would have if tucked into the embankment.
74. I also ask that you carefully consider the impact of hardship that the applicants have / are facing. They have had Sophie's parents' estate to live in while the building work has been undertaken, as well as consideration to the cost of this application and those they are paying for to support it and to be here today. They have also had the funds to continue to develop the land they live on.
75. As a former Detective, and having served over 8 years for the New Zealand Police I stand for what is right and for upholding the law, even if it is not in this case criminal.
76. I hope that you can see the true nature of this application and reach a sensible conclusion that upholds moral values as well as respect to both the Building Act and the Resource Management Act.

Rebecca Shaw

Att. LIM

Land Information Memorandum



Rebecca Anne SHAW
1185 F South Road
OAKURA 4314

Land Information Memorandum

LIM24/115496

Local Government Official Information and Meetings Act 1987

APPLICATION DETAILS

APPLICANT

Rebecca Anne SHAW

APPLICATION RECEIVED

4 June 2024

LIM ISSUED

14 June 2024

PROPERTY DETAILS

STREET ADDRESS

255 Weld Road Lower
Tataraimaka
NEW PLYMOUTH 4374

PROPERTY ID

112943

LAND ID

112156

What are Land Information Memoranda?

Land information memoranda (LIMs) are provided by the Council under the provisions of Section 44A of the Local Government Official Information and Meetings Act 1987.

The purpose of a LIM is to provide specific official information as required by the Act held by the New Plymouth District Council (Council) within its files and record systems.

The Council does not provide interpretation or advice on how to interpret or utilise this information. Appropriate professional advice should be sought.

The Taranaki Regional Council holds and maintains separate record systems for consents, permits and other land information relating to their statutory responsibilities. Such information, if required, will need to be requested in writing from the regional council under the Local Government Official Information and Meetings Act 1987.

In some cases the information is provided to the Council by other parties. The accuracy of this information is dependent on the care taken by the information provider. Information regarding the location of buildings and services has been known to contain inaccuracies.

Council records can be incomplete in some instances. This occurs frequently in the case of building and drainage records for Inglewood and Waitara. Council officers may be able to offer advice or assistance in such cases.

The Council may also provide discretionary information.

Please note that no site inspection is carried out as part of a LIM.

Whether new information received during the processing period for your LIM is included is dependent upon the timing of the receipt of this new information relative to processing of the related part of the LIM. This particularly applies to building consent matters.

This LIM is for Lot 1 DP 484251 only.

The Council may hold additional information relating to the property that may or may not be relevant. A request for this information may be made under section 10 of the Local Government Official Information and Meetings Act 1987.

The New Plymouth District Council is currently working with two sets of district plan provisions. The Operative New Plymouth District Plan 2005 and the Proposed New Plymouth District Plan – Appeals Version 2023.

The Proposed District Plan - Decisions Version was publicly notified on 13 May 2023, and the period for making appeals to the Environment Court on the Proposed New Plymouth District Plan - Decisions Version has now closed.

Council received 23 appeals on the Decisions Version of the Plan.

The EPlan has been updated to identify the provisions of the Plan that are subject to an appeal. Released on 14 September 2023, this version is called the Proposed District Plan – Appeals Version. Rules which are not subject to appeal are now treated as operative, pursuant to section 86F of the Resource Management Act 1991.

Parts of the plan that are under appeal are annotated with a red border and a red exclamation mark icon to the right-hand side of the provision.

Please note that the provisions and features identified and annotated as subject to appeal have been derived from the appeals that were filed with the Environment Court and Council's current understanding of the potential scope of relief sought. As appeals are resolved by mediation or court proceedings, or withdrawn, the parts of the Plan that are under appeal will change over time, meaning the Appeals Version is a 'living' document.

Generally, resource consents will be assessed using the Proposed New Plymouth District Plan – Appeals Version 2023. However, in some cases, provisions or planning maps that are subject to an appeal may be relevant and it may be necessary to apply for resource consents under both the Operative District Plan 2005 and the Proposed District Plan – Appeals Version 2023.

To view all rules in the Operative District Plan please refer to:

[Operative District Plan 2005 \(npdc.govt.nz\)](https://npdc.govt.nz/Operative-District-Plan-2005)

To view all rules in the Proposed District Plan – Appeals Version 2023 please refer to:

[About the Proposed New Plymouth District Plan - Appeals Version \(npdc.govt.nz\)](https://npdc.govt.nz/About-the-Proposed-New-Plymouth-District-Plan-Appeals-Version-2023)

All documents relating to these appeals can be viewed on the [Appeals page](#).

New Plymouth District Council (NPDC) holds indicative information on liquefaction hazard for New Plymouth, which can be found on the NPDC website at [Liquefaction \(npdc.govt.nz\)](#). The information provides a district-wide liquefaction vulnerability assessment to identify areas of land possibly susceptible to liquefaction and is general in nature and not intended to describe liquefaction vulnerability at an individual property scale. NPDC may require site-specific investigations before granting future subdivision or building consents for the property.

A. Features and Characteristics of the Land

Special features or characteristics of the land known to the Council that are actual or potential hazards or may affect the use or development of the land:

Consent Notice

Consent Notice issued 18 May 2015. A copy is **attached**.

B. Sewer, Stormwater and Water Services

This includes private and public stormwater and sewerage drains, and sewer and water services. It is recommended that the record of title and deposited plan should also be checked to verify the existence or absence of easements:

As-built Drainage Record

There are no as-built Council drainage records relating to this property.

Sewerage disposal requires a septic tank as the property is outside of the areas served by Council's sewerage reticulation systems.

Onsite Wastewater Disposal System

This property will need to utilise an onsite waste water disposal system or septic tank. These systems require ongoing care and regular maintenance to avoid their premature failure.

In normal circumstances the tank will require cleaning approximately once every three years.

A publication has been produced in conjunction with the Taranaki Regional, Stratford and South Taranaki District Councils. The aim of this publication is to raise awareness of how these systems work, common causes of failure and information on how to extend your systems working life.

The final section of this booklet provides a space for a location plan and a record of desludging and other required work. It is recommended you check with the vendor of the property to obtain this information if available.

Additional booklets are available on request from the New Plymouth District Council.

Information that has been notified to the New Plymouth District Council by a drinking-water supplier under section 69ZH of the Health Act 1956:

No information known to Council.

Information that ----

The land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier.

No information known to Council.

The land is supplied with drinking water by a networked supplier, any conditions that are applicable to that supply.

No information known to Council.

The land is supplied with water by the owner of the land, any information the Council has about the supply.

This property is outside of the areas served by Council's water reticulation system.

Private Water Supply

Water is or will need to be from own sources e.g. tank.

C. Rating Information

Please refer to the **attached** rates information sheet for details which include, where applicable, any water metering account details and New Plymouth District Council lease details.

D. Certification

Consents, certificates, notices, orders, licences or requisitions, including the compliance of swimming pools, relating to the property that have either been formally notified to, or issued by the New Plymouth District Council, including information notified by any statutory organisation having the power to classify land or buildings and the notified requirements of network utility operators.

a Issued by the New Plymouth District Council:

Building permits recorded for the property are:

May 1953 Dwelling.

Please note: pre 1993 building permits were not required to have a code compliance certificate issued.

Swimming Pool

No swimming pool shown on Council records.

b Issued by another person or body:

No information known to Council.

Information notified to the New Plymouth District Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

No information known to Council.

Planning/resource consents recorded for the property are:

Resource Consent No. 46269 for a two lot Rural subdivision was granted on 10 December 2014.

E. Information relating to the use to which that land may be put and conditions attached to that use.

Zoning Details

The property is located within the Rural environment area under the Operative District Plan 2005.

The property is located within the Rural Production Zone under the Proposed District Plan – Appeals Version 2023.

The status of any existing or proposed activities may be determined with reference to the District Plan and any planning or resource consents that may apply.

Designations or Notations

Designations or notations applying to the property are:

Designations

No designations or notations shown on the Operative District Plan 2005.

Goat Control Area

Proposed District Plan - Appeals Version 2023

The property is located within a Goat Control Area. Rules apply that control the keeping of goats within the Goat Control Area. For further details regarding the Goat Control Area, please refer to the Proposed District Plan - Appeals Version 2023.

F. Information which, in terms of any other Act, has been notified to the New Plymouth District Council by any statutory organisation having the power to classify land or buildings for any purpose.

No information known to Council.

G. Information has been notified to the New Plymouth District Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

No information known to Council.

Property Pre-purchase Advice

It is recommended that the record of title be checked for further property restrictions.

The Council is no longer an electricity supplier and does not hold information regarding electrical requisitions. The structural condition of buildings not recently constructed and the compliance of electrical wiring and other on-site utilities may be checked by appropriately qualified people.

It is recommended that you ask the vendor if they have given their written approval as an affected party, to resource consent for any project that could affect the property in the future.

For buildings on cross-lease titles please check that all of the buildings that you intend to purchase are included in the cross-lease plan.

Correspondence or agreements within Council records regarding encroachments will be included in the LIM. Prospective purchasers will need to take their own steps to confirm that land occupied by the property is within the legal site boundaries. In some cases it may be necessary to engage a registered surveyor. Please note that the property boundaries superimposed on the aerial photograph are indicative only.

The Council, and in the case of state highways, Waka Kotahi NZ Transport Agency control the location, use and standard of vehicle crossings and access onto roads. If you have concerns regarding these matters please contact the Council.

Enquiries regarding this LIM

This LIM has been compiled with information provided by several Council teams. If you have any queries regarding the contents of this LIM please contact us on 06-759 6060 or email enquiries@npdc.govt.nz.

Signed



Denise Lankshear
Property Information Officer

Date

14 June 2024



LIM information divider

**CONSENT NOTICE PURSUANT TO SECTION 221
OF THE RESOURCE MANAGEMENT ACT 1991**

IN THE MATTER of Lot 1 DP 393350

AND

IN THE MATTER of Subdivision
Consent pursuant to Sections 105, 108,
220 and 221 of the Resource
Management Act 1991

Pursuant to Section 221 of the Resource Management Act 1991 the New Plymouth District Council by resolution passed under delegated authority on 10 December 2014 imposed the following condition on the consent for subdivision of Lot 1 DP 393350 being LT 484251;

'Boundary fences along the boundaries of Lot 1 and 2 shall not be solid.'

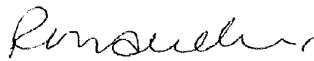
'No habitable buildings shall be erected outside of the Area marked 'E', on Lot 2.

'The exterior roofs and walls of all buildings shall be restricted to recessive colours and materials with reflectivity values of less than 37%.'

'Should the sheds on the south-eastern boundary of Lot 2 be removed a 3m wide strip of native planting shall be established along this boundary.'

DATED at New Plymouth this 18th day of May 2015

Signed by the said
ROWAN MARGARET ANNE WILLIAMS



Authorised Officer
of the New Plymouth District Council

Document Number 6365986
Property ID: 97812
Resource Consent: SUB14/46269.01



LIM information divider



Te Kaunihera-ā-Rohe o Ngāmotu

New Plymouth District Council

LAND INFORMATION MEMORANDA (LIM)

RATES

Property No	112943
Valuation Roll Number	11631/093.14
Amount of last year's rates	\$2,433.76
Amount of this year's rates (if struck)	\$2,892.08
Amount of current rates instalment	
First Instalment	\$723.00
Second Instalment	\$723.00
Third Instalment	\$723.00
Fourth Instalment	\$723.08
Amount of Rates Owing To 30 Jun 2024	\$270.66
Details of Government Valuation	Date 1 Aug 2022
	Land Value \$560,000.00
	Capital Value \$790,000.00

WATER

Is property supplied Water by meter?	No
If so, Account No.	na
Amount of water owing to	\$0.00
NB: If property to be sold a final meter reading needs to be arranged	

LEASE

If so, Account No	na
Amount of Lease per annum	\$0.00
Date Review	na
Current Balance	na

NB: The amounts quoted for Rates, Water and Lease are correct at today's date only, and if this information is to be used for a property settlement, confirmation in writing must be sought closer to the settlement date.

5/06/2024



LIM information divider

11631/094.00

TARANAKI COUNTY COUNCIL

APPLICATION FOR PERMIT TO ERECT, REPAIR, ETC.
A BUILDING.

To the Clerk,
Taranaki County Council,
Robe Street,
NEW PLYMOUTH.

Application No.1675-P.
Received.
Permit No.
Issued.19/5/53.

I, Reginald Alfred Martin of Oakura
hereby make application for a permit to erect, repair, alter, add to, remove,
demolish, a building as specified hereunder, and in accordance with the plans and
specifications submitted in duplicate herewith.

Name of builder: R.A. Martin Address Oakura

Name of Person for whom building is to be erected C.A. Thomas

Address Weld Rd Oakura

Site of proposed building Weld Rd Section No. Pr Sec 6

Area of Section Oakura Dist.

Description of proposed building or work (state whether Residence, Warehouse, Shop,
Garage, etc.) Residence Floor Area 1171 Sq. Ft.

Materials of which building is to be constructed (state whether brick, concrete,
wood, iron, etc) Wood

Estimated value of proposed work \$2800 Fee payable & deposited herewith \$700

Name of Licensed Drainlayer to be employed J. E. Early

Name of Licensed Plumber to be employed J. E. Early

Signature of Applicant R.A. Martin

Date: Address Oakura

Plans and Specifications checked and approved:

Issue of Permit approved:

Grant Building Inspector

le

Date 15/5/53

County Clerk.

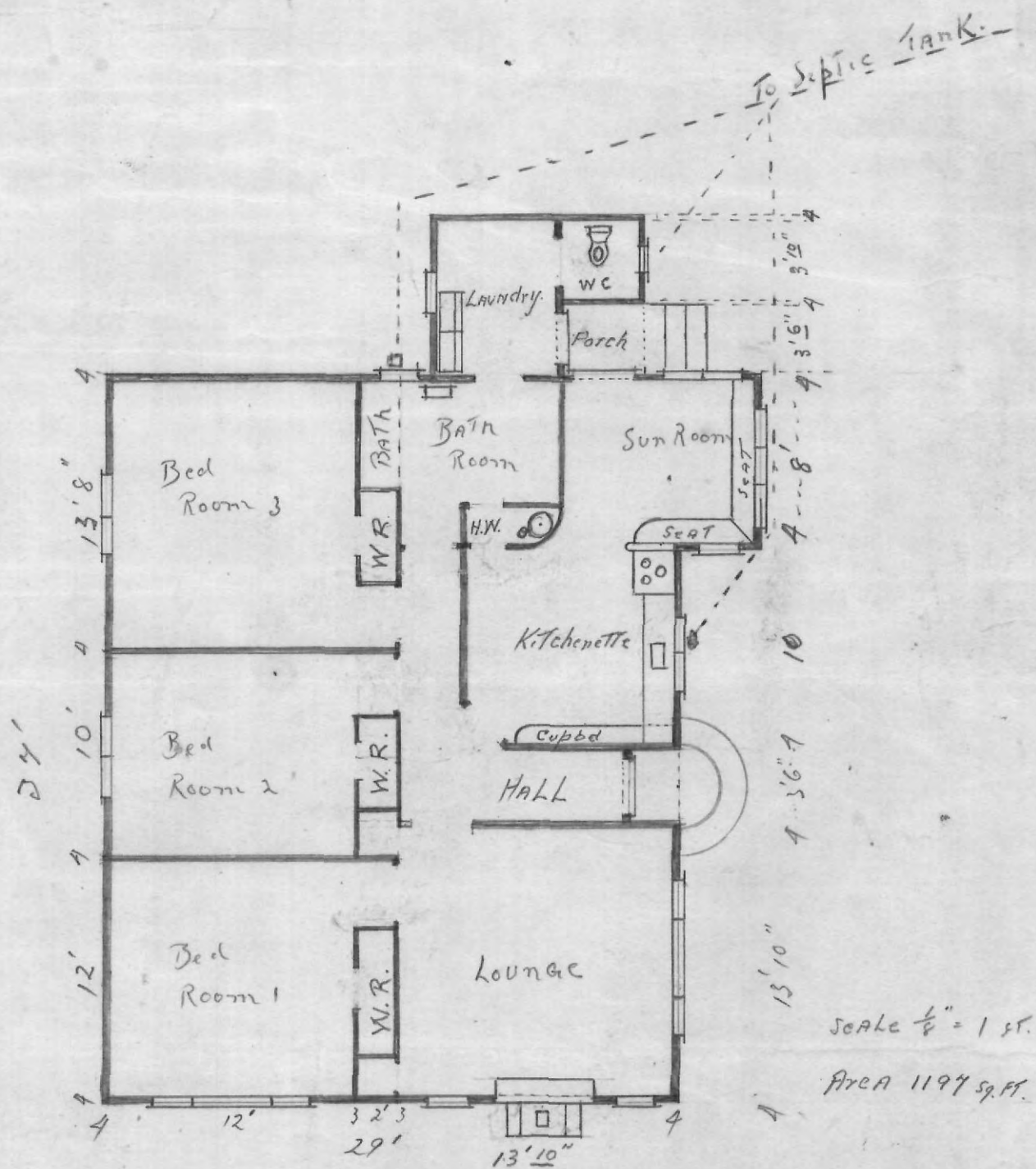
Grant Drainage Inspector.

Date 15. MAY. 1953

Date

Detailed plans and specifications in duplicate must accompany each application.
Plans to be prints, tracings or originals on good quality paper, to a scale of $\frac{1}{8}$ "
to $\frac{1}{4}$ " to the foot, and showing ground plan and such elevations as are required to
furnish complete details of the proposed work. A drainage plan is to accompany
all applications in respect to work on dwellings and a site plan is also required.
Plans and specifications to be signed by person preparing same, inspection fees,
where payable MUST accompany application for permit.

(SEE SCALE OF FEES ON BACK)



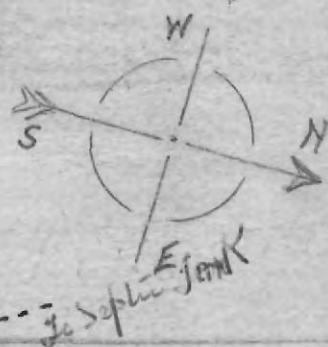
Proposed Alteration To Plan for C.A. Thomas Weld Rd OAKUTA.



North Elevation.



East Elevation



30 feet from
Weld
Road.

30 feet from
Weld
Road.

Proposed Dwelling for
C.A. Thomas Esq.
WELD Rd. OAKURA.

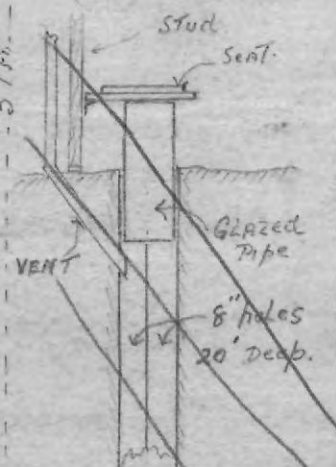
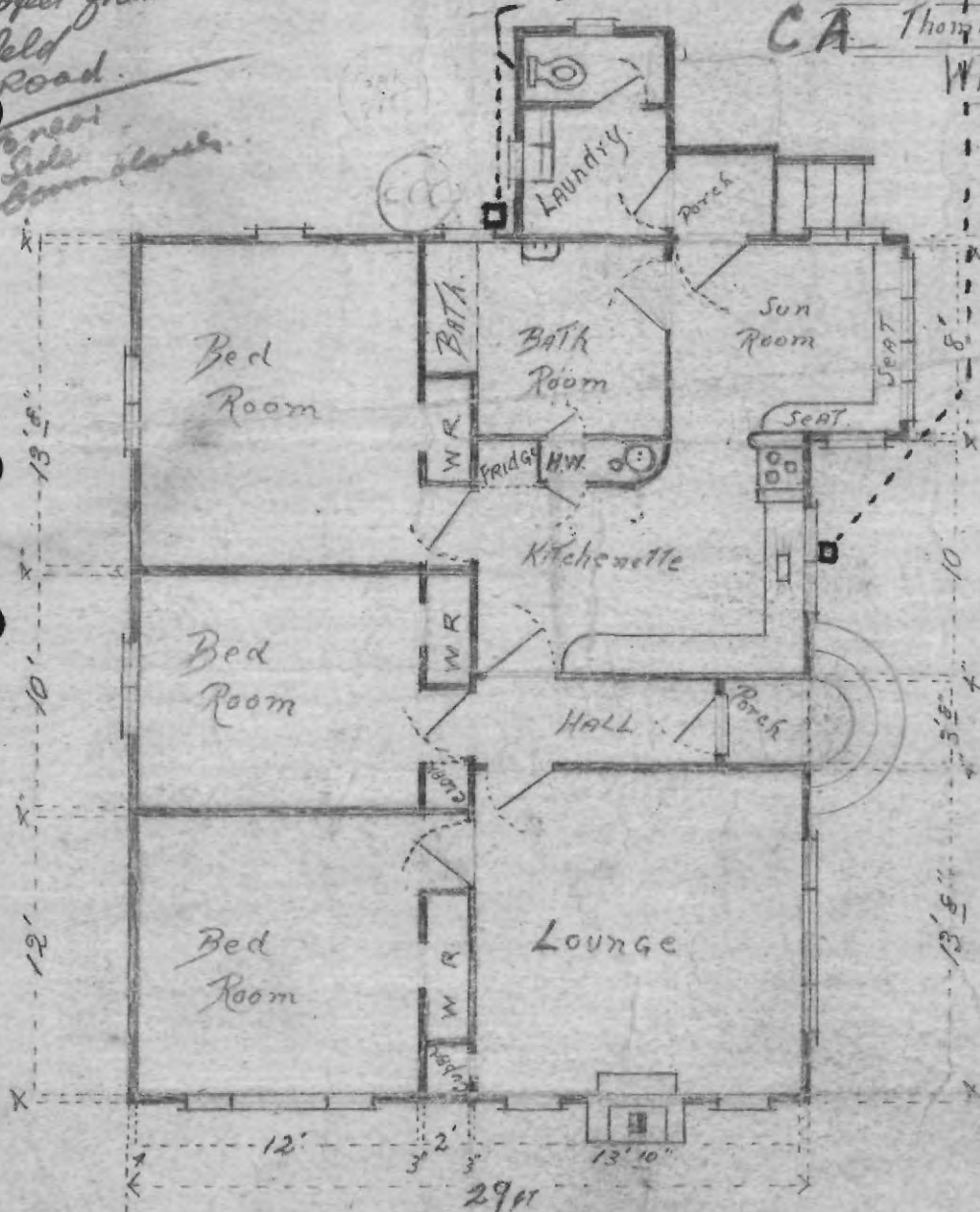


DIAGRAM OF CLOSET

SCALE $\frac{1}{8}$ " = 1 ft.

1. MATERIALS

& LABOUR

The Contractor shall supply everything necessary for the due and proper completion of the contract. All materials shall be the best of the respective kinds specified or implied. The Contractor shall provide everything necessary in accordance with the usual custom of the trade concerned. The Contractor shall effect and pay all costs for insurance for fire and workers indemnity and shall be responsible for all damages to property occasioned by the works and shall not allow his men to wander indiscriminately over the owners property.

2. FALLS IN SITE.

The plans have been drawn as for a level site. Tenderers shall make inquiries and satisfy themselves as to the falls and levels in the site of the house and shall allow in their tenders for any extra work necessitated by the falls in the ground.

3. BY-LAWS AND PERMITS.

The Contractor shall secure all necessary permits and shall conform to, and allow for, any work required by the local By-Laws and Regulations, and shall meet all charges in connection therewith, and shall supply any necessary Block, Drainage or similar plans necessary to secure a permit.

4. WORK AT COMPLETION

The Contractor shall clear away all rubbish at completion, remove all temporary work and leave the premises watertight, and damp-proof, with all services in good working order, rake out all rubbish from under floors, leave all floors broom clean, and clean and polish all glass with turps rags.

M. DRAINER

5. GENERAL

Execute all drainage to meet the requirements of the Health Department and the Local Authority and as specified herein. Arrange for all necessary permits, inspections and tests, and pay all fees.

Excavate as necessary for drainage system, and backfill and well ram and re-turf,

All E.W.P. drains shall be in 4" glazed earthenware pipes set in 2 : 1 portland cement compo, Field tile drains shall be 3" unglazed pipes set in 2" drainage scoria or shingle, All drains shall be laid not less than 18" deep and in straight lines and to even gradients with all necessary cleaning eyes, inspection chambers and other fittings.

6. FOUL WATER DRAINAGE

Fix 4" earthenware gully traps to take all wastes. Each gully trap shall be set on a concrete bed and shall have dished concrete kerbs and e.i. grating. Fix approved type of concrete or earthenware grease trap to sink waste, Take 4" e.w.p. drains from gully traps to soakage system.

7. STORM WATER DRAINS

Fix 4" e.w.p. bends set in concrete to take overflow pipe from tanks and any downpipes not connected to the tanks, Take stormwater drain in 4" e.w.p. for not less than eight feet from the house or tankstand and continue in 3" field tiles to the soakage system.

8. SOAKAGE SYSTEM

Form Soakage System to take all drainage, The particular size and type of soakage system shall be in accordance with the instructions of the Health Departments Inspector, and shall not be closer than Ten feet to the house, and shall suit the type of subsoil at the site.

BRICK-LAYER

9. CHIMNEY

Erect chimney as indicated with Firth Open Fireplace, concrete foundation to be brought up solid to top of floor joists, Form 4" concrete trowelled Hearths,

10. OPEN FIRE PLACE

Form sloping fire-brick backing and hobs set in fire-clay, Set in surround selected by owner, allow £10.

CARPENTER**11. GENERAL**

Frame, erect and fit all carpenters and joiners work, Leave all parts in good working order and make good to all shrinkages and other defects at completion.

SCHEDULE OF TIMBERS

FOUNDATION PILES	6" x 6" concrete carried up to plates and on solid bearing not less than 12" into ground
DAMP COURSE	Three-ply patent roofing
SLEEPER AND WALL PLATES	4"x3" B "A" heart rimu at 6'-0" centres
FLOOR JOISTS	5" x 2" B "A" heart rimu at 18" centres
VERMIN PLATES	4" x 2" B "A" heart rimu
EXTERIOR WALL FRAMING	4" x 2" B "A" rimu with studs at 18"
PARTITION FRAMING	4" x 2" B "A" rimu with studs at 18"
TRIMMERS TO OPENINGS	3" B "A" rimu checked into studs
DWANGS	3" x 2" B "A" rimu at 30"
BRACING TO WALLS	3" x 2" B "A" rimu set at 45 degrees
CEILING JOISTS	4" x 2" B "A" rimu at 18"
LOGGINGS TO CEILINGS	3" x 2" B "A" rimu at approx 30"
RUNNERS TO CEILING JOISTS	4" x 2" B "A" rimu at 6' 0" with 6" x 1" hangers
RAFTERS	4" x 2" B "A" rimu at 36" birdsmouthed over plates
UNDER FURLINS TO RAFTERS	4" x 2" B "A" rimu on edge under centre of all rafters longer than 10'0"
STRUTS TO UNDERFURLINS & RIDGES	4" x 2" B "A" rimu at 6'0"
RIDGE	8" x 1 1/2" B "A" rimu
COLLAR TIES	6" x 1" B "A" rimu on alternate rafters.
BARKING	6" x 1" B "A" rimu close boarded
FURLINS	3" x 1 1/2" B "A" rimu at 24"
BARGE BOARDS	7" x 1 1/2" Dressing "B" heart rimu
EAVES FRAMING	3" x 2" B "A" rimu at 18"
EAVES SUFIT	FIBROLITE
PASCIA	7" x 1 1/2" Dressing "B" heart rimu, 44s
FACINGS	3" x 1" Dressing "B" heart rimu, 43s.
FLOORING	4" x 7/8" (finished thickness) T & G dressed, dressing "A" heart rimu.
EXTERIOR SHEATHING	Asbestos Wall Board.

12. TIMBER

All timber, except where otherwise specified, shall be rimu, matai, or totara to conform to the following qualities and grades:-

Framing timber up to and including the floor joists:	Building "A" heart.
All other framing timber	Building "A"
External finishing timbers:	Dressing 2 1/2" heart
Internal joinery and finishing lines	Dressing "A"
External joinery	Dressing "A" heart
Flooring	Dressing "A" heart

Matai or Totara may be used instead of rimu provided they are in the same qualities and grades as specified for rimu in Clause II above.

Finishing lines and joinery shall be machine dressed and sanded and all obvious defects shall be cut out or hand finished.

All scantlings shall be dried to a moisture content of not more than 25% .

all flooring to a moisture content of not more than 14% and all joinery to a moisture content of 18% before fixing.

13. EXCAVATION

Remove all rubbish, undergrowth and stumps from the site of the house, Excavate for piles, footings and other foundations, All excavations shall be taken down to good solid bearing not less than 18" below permanent ground line, Backfill all excavations and well ram, Spread any surplus excavated material on the site to the owners directions.

14. CONCRETE

14. CONCRETE

Erect all concrete work as indicated on plans and as specified herein. All concrete work shall be five parts of $\frac{3}{4}$ " grade washed and graded shingle and sand and one part of portland cement, properly mixed and placed immediately. All piles and any foundation walls shall rest on solid bearing not less than 12" below permanent ground line. Form 6" x 6" concrete foundation piles at 4'6" centres under all wall and sleeper plates to be carried up not less than 12" above ground level. Form solid concrete steps with 13" treads and 6" risers to each entrance and form end blocks to steps where indicated. Steel trowel entrance steps, and plaster risers, ends and end blocks.

15. FRAMING

Fix patent roofing dampcourse under all timber resting on concrete. Frame building in accordance with the schedule, Timbers and the N.E.S. Model By-Laws Part IX. All timbers shall be in full lengths and well nailed with plates secured to foundation piles and with dovetailed halved joints arranged to come over bearings, joists gauged to even depths and set level, trimmers checked into studs or joists.

16. OUTSIDE

Cover all exterior walls with Fibrolite, the joins to be cement stopped and the whole to be given a good splatter coat and then 2 coats of "Duracote" the surface to be left completely weather proof.

17. ROOFING

Cover all roofs with 24 gauge first grade English Aluminium, fixed with 9" end lap and 1 $\frac{1}{2}$ " corrugations side lap and secured with Aluminium nails at every second corrugation.

18. FLOORING

Lay all floors in 4" x $\frac{3}{4}$ " T & G well cramped up. Set porch and verandah floors 6" below main floor with 1 $\frac{1}{2}$ " fall.

19. LININGS

Lounge Hall & 3 Bedrooms to be lined with "Gibraltar" board and joins stopped with fibrous plaster. Kitchenette, Sunroom, Bathroom & Laundry to be lined with "Pinex Hardboard". Wardrobes & W.C. to be lined with "Pinex Softboard". All ceilings to be "Pinex Softboard". Ceiling margins to be 1" Quad & 1 $\frac{1}{2}$ " Button Bead over all joins.

20. JOINERY

Arrange for construction and delivery of all joinery. Front door to be made design on plan and fix e.p. night latch. Back door and Laundry door to be frame ledged. All 6' and 6'8" doors to be treble hinged. Fix chrome plated casettes to all cup-board and wardrobe doors. C.P. Mortice locks to all access doors. All interior doors to be Flush Heart Rimu.

21. INTERIOR FITTINGS

Form wardrobes and linen cupboard as indicated on plans with "Pinex Softboard" walls and false ceilings, and with doors as specified under "Joiner" Clause 26. Fit two shelves and hanger rod in each wardrobe and $\frac{1}{2}$ " shelves at 10" in Linen cupboard.

22. INTERIOR FINISH

Fix 4" x 1" skirting to all walls in full lengths with scribed angles. Fix 3" x 1" bevelled architraves with mitred heads to all openings. 1" sill-boards and 1" jamb linings to all windows. Fix scotia as cornice in all ceilings.

23. EXTERIOR FITTINGS

Frame tank stand in Building "A" heart totara with 4" x 3" plate bolted to concrete dwarf wall, 4" x 2" studs at 18", 4" x 2" bracing, 4" x 3" top plate and 6" x 2" decking and cover decking with 26 gauge g.e. iron. Form detail at Main Entrance as indicated on plan.

JOINERY24. GENERAL

door

All sashes, doors, exterior and window frames shall be factory made by an approved subcontractor. All timber for joinery shall be seasoned or kiln dried to a moisture content of not more than 11/13%. All sashes and exterior doors shall be Dressing "A" heart totara or first heart kauri or redwood. Door and window frames shall be Dressing "A" heart totara or first heart kauri. Internal doors and all fittings shall be Dressing "A" Rimu. All joinery shall be mill dressed and machine sanded and all defects shall be made good by hand. Prime all exterior joinery at the factory.

25. WINDOWS

All windows shall be Louvre type to sizes marked on plan. Sashes for 2 landscapes shall be rebated, moulded and grooved. Window frames shall have 3" double sunk, weathered and throated sills, 2" rebates throated and grooved heads and stiles, 4" x 3" rebated throated and grooved mullions, and 3" x 1" facings. Glazing to sashes shall be beaded sprung and back-puttied.

26. DOORS

Main entrance door shall be 6'6" x 2'8" x 1 1/2" finished thickness framed door with glazing bars as shown on drawings and glazed in obscured glass. All other external doors shall be 6'6" x 2'8" x 1 1/2" finished thickness framed and ledged. Each external door shall be hung with 1 pair of 3 1/2" galv butts in 2" solid rebates grooved and throated frames with 2" weathered sills and 1" w.i. water bars, and with 3" x 1" facings. All interior doors shall be 6'6" x 2'8" x 1 1/2" finished thickness Flush Heart Rimu. All wardrobe doors and door to linen shall be 6'0" x 2'0" x 1 1/2" to match interior doors.

PLUMBER27. GENERAL

Execute all plumbing to ensure building remaining watertight and damp-proof, stop-flush chimney and upstands to roof, fix trays to all sills and flash all heads of doors and windows and wherever also necessary in 24 gauge galv iron. All service pipes shall be concealed.

28. WATER SUPPLY

Fix 600 gallon squat type 24 gauge g.e.i. tank. Take 1" service pipe to hot water cylinder, bath, basin, sink, copper and tubs.

29. Sink:- 20" x 14" stainless steel.

Bath:- 5'6" Porcelain, Enamel with panelled sides and built-in as shown on plan.

Hand Basin:- 22 x 16 white glazed earthenware

Water Closet:- white glazed pedestal, wash down closet complete with seat & cover.

Tube:- Fifth concrete where shown on plan.

Hot Water Service:- "Smarts" 30 galls. B.L. with B.C.

NOTE :- ALL TAPS AND EXTENSIONS TO BE C.P.

ELECTRICIAN30. GENERAL

Install one interior point in each room (including the hall), one light on verandah, and four power plugs, all in positions to be arranged by the owner. All work shall be carried out in accordance with the F.W.D. regulations and the requirements of the local power board. Bring in main from road and arrange connections and pay all fees in connection therewith. Fix switch-board near rear entrance, with wooden casing and all necessary fittings. Run wiring in concealed screwed conduit. Fix bakelite tumbler switch to each light point and power plug. Fix power plugs with three point plugs. Fix ceiling outlet, flex, bayonet holder, opal shade and 60 watt lamp to each light point.

PAINTER31. GENERAL

XXXXXXXXXXXXXXXXXXXXX The painter shall check over surfaces and have defects made good. Properly prepare all surfaces and size all interior surfaces with glue size with Sodium pentachlorophenate added. Protect all surfaces against paint and putty stains. Clean up at completion and clean off all glass with turpe rags.

32. EXTERIOR

Paint all exterior woodwork in three coat work, Priming shall be in accordance with N.Z.S.S. E.51 Undercoating shall be ready mixed undercoating of approved brand in accordance with N.Z.S.S. E.52. Finishing gloss shall be ready mixed gloss finishing paint of approved brands in accordance with N.Z.S.S. E.32. in tints to be selected by the owner. Pick out and trim to the owners instructions, walls and ceilings, all soffits and the edges of sashes and doors, and the tanks, spouting and downpipes. Include for e.e. gutters spoutings, flashings.

33. INTERIOR

Paint in three coats of oil and colour and one of ready mixed enamel to finish in a high gloss all walls woodwork in Kitchen. Sun-Room. Laundry, Bathroom, W.C. W.Rs. All woodwork in Hall, Lounge. Bed I, 2, 3, to be oiled, knotted twice and Varnished. Paint all ceilings with cornices and battens in two coat cream oil bound non-casein distemper with Sodium pentachlorophenate added.

PAPERHANGER**34. GENERAL**

Paper all walls not otherwise specified with papers p.e. value 5/- per roll. ex store. All papers shall be selected by the Owner and shall be hung in full lengths and properly trimmed and matched. Add Sodium pentachlorophenate to all paste.

Specifications of Materials & Workmanship required
in the Erection of a Residence on Weld Rd
OAKVIA for E. A. THOMAS Esq.

Workmanship - The whole of the work shall be done by or under
the personal direction of experienced specialists in
each of the several trades.

Concrete.

All concrete to be of not less than 6 to 1 mixture and
taken down solid clay for firm foundation.

Piles 6"x6" embedded in concrete pad 12"x12"x6" spaced
not more than 4'6" centres in rows not more than 6' apart.

Drainage.

All drainage work must be carried out in accordance
with the regulations and to the satisfaction of the
County Council & Sanitary Inspector.

Carpenter & Joiner.

Spacing - Where possible timbers shall be spaced to suit size
external & internal sheets but in no case more
than 18" centres.

Schedule of Timbers -

Stringers	4x3"	Blue Heart Pine	
Floor joists	5x2"	"	@ not more than 18" Centres.
Plates	4x2"	"	18" "
" Wallrobes	3x2	"	18" "
Studs	4x2	"	18" "
" Wallrobes	3x2	"	18" "
Living joists	4x2	"	18" "
Rafters	4x2	"	30" "
Perkins	4x1 1/2	"	24" "
Braces	3x2	"	Solid.
Swangs	4x2 & 3x2	"	
Ridge Board	8x1	"	
Trimmins	4x3	"	on two & three A Windows over.

(2)

Flooring 4x1. Heart Pine or better T.G. & V.

Boys Boards 8x18 " " "

Flooring 4x18 " " "

All interior woodwork where not painted to be Heart Pine.

All exterior woodwork to be Heart Pine

Roof:— Framing timbers to be kept 2" clear of chimney.

Roofing to be either 24 gauge English Aluminium or 24 gauge Galvalume iron having not less than 8" end lap and not less than 1 1/2" corrugations side lap.

Exterior walls:— as specified on Contract form

Interior " Lounge, Hall, 3 Bedrooms to be lined

with Giberator Board. Kitchenette, Sun Room, bathroom,

Laundry to be lined with Hardwood— Wardrobes,

and W.C. to be lined with Pine Soft board.

Ceilings:— All ceilings to be Pine Soft Board Ceiling margins to be 1" quad & 1 1/2" half round mould over all joints.

Doors:— Interior doors to be Heart Pine flush & exterior doors Heart Pine as shown on plan.

Windows:— as shown on plan.

Plumber:

All plumbing work shall be carried out by a Licensed Plumber in accordance with this specification & in ~~accord~~ to the satisfaction of and requirements of the local by-laws.

Sink:— 20x14 stainless steel.

Bath:— 5'6" Porcelain Enamel with parallel sides and built in as shown on plan.

Hand Basin:— 22x16 white glazed earthenware.

Water closet:— white glazed pedestal wash down closet complete with seat & cover.

Subs:— To be concrete where shown on plan.

Water service: "Smarts" 30 gal E.L. with B.C.

Note:— All taps & extensions to be C.P.

Electrician:

This contract includes the supply & installation of the

③

Electrician (Contd)

electric wiring system complete strictly in accordance with the Electrical wiring Regulations.

switches:- Flush tumbler type where directed.

Lamps:- All lamps to be 60 watt. Fluorescent in lounge.

El. Cocker:- Moffat complete where shown in kitchen.

Painter & Paperhanger.

All paint - to be first quality approved by owner.

All wall woodwork & metal work to have 1 coat of priming, stopped and given 1 coat of undercoat and one of finishing the trimmings to be selected by owner.

● Varnishing:- All interior woodwork selected by owner shall be given two coats of approved knotting and one of high gloss clear varnish.

● All walls lined with "Liberty" board shall be papered to full height, the price allowed being 5/- per roll.



LIM information divider



Te Kaunihera-ā-Rohe o Ngāmotu

NEW PLYMOUTH DISTRICT COUNCIL

newplymouthnz.com

RESOURCE CONSENT SUB14/46269

Granted under Sections 95, 104, 108, and 220 of the Resource Management Act 1991.

Applicant: Graeme Beaton

Location: 255 Weld Road Lower OKATO

Legal Description: Lot 1 DP 393350

Status: The Proposal is a Controlled Activity under rules Rur79, 81 and 82, and a Discretionary Activity under rules Rur78 and 83 of the New Plymouth District Plan (Operative 15 August 2005)

Proposal: Two lot Rural subdivision

DECISION:

In accordance with Section 104 and 104B of the Resource Management Act 1991, consent is granted to subdivide Lot 1 DP 393350 into two allotments, as shown on the scheme plan submitted with application SUB14/46269 submitted by Bland and Jackson Surveyors Ltd and entitled "Proposed Subdivision of Lot 1 DP 393350", project number 7735, sheet 1/1, Rev R00, dated June 2014.

Subject to the following conditions imposed under Section 108 of the Resource Management Act 1991:

1. The consent holder is responsible for all costs incurred in complying with the conditions of this resource consent. This includes any costs associated with carrying out works and any approval, inspection or other costs for council services. Any costs for consultation will also be forwarded to the consent holder.
2. All works carried out in association with this consent shall be completed in accordance with the New Plymouth District Council Subdivision and Roding standards contained in Appendices 22 and 23 of the District Plan and the Design and Construction Standards in the New Plymouth District Council's Earthworks, Roding, Water Reticulation, Sanitary Sewer, Stormwater and Vehicle Crossing Codes of Practice.
3. One copy of the title sheet (A3 size or e-certification) is to be provided when the survey plan is submitted for approval.
4. The survey plan shall conform with the subdivision consent plan submitted with application SUB14/46269 submitted by Bland and Jackson Surveyors Ltd and entitled "Proposed Subdivision of Lot 1 DP 393350", project number 7735, sheet 1/1, Rev R00, dated June 2014.
5. All buildings shall meet the standards specified in the New Plymouth District Plan for a permitted activity relative to the new boundaries, except for the existing garage on Lot 1

(which will be will be 7m from the new boundary) and the existing sheds on Lot 2 which may be no closer than 6m from the boundary.

6. **Onsite Wastewater Disposal System**

- 6.1 The consent holder shall confirm that any wastewater disposal system serving an allotment lies wholly within the boundaries of that allotment.

7. **Vehicle Access**

- 7.1 A type G sealed vehicle crossing shall be constructed to serve Lot 2 to the Standard specified in the Councils Land development & Subdivision Infrastructure Standard.
- 7.2 An application with the appropriate fee shall be made to the council for any new vehicle crossing, and upon approval the vehicle crossing is to be installed by a council approved contractor at the applicant's cost.
- 7.3 Driveway surfaces and crossings shall be contiguous with others in the area. The use of white concrete shall not be permitted. Dark surfaces such as chip seal or gravel are considered appropriate.
- 7.4 The existing vegetation along the road frontage shall be maintained.

8. **Bulk, Location and Design Controls**

- 8.1 The following condition shall be imposed by way of a consent notice registered against each of the new Computer Freehold Registers for Lot 1 and 2:
- a) Solid fences shall not be erected along the boundaries on Lots 1 and 2.
- 8.2 The following condition shall be imposed by way of a consent notice registered against each of the new Computer Freehold Register for Lot 2:
- a) The area available for a building platform on Lot 2 shall be marked on the survey plan and shall be limited to the area identified as the 'Potential Building Platform' on the scheme plan. No habitable buildings shall be erected outside of this marked area.
- b) Any second habitable building shall be related in appearance, location and overall aesthetic to the original habitable building and shall be no more than 50% the size of the original habitable building.
- c) All roofs, walls, garages, sheds and shed doors shall be restricted to recessive colours and materials with reflectivity values of less than 37%.
- d) A 3m deep strip of native planting shall be installed along the southern boundary of Lot 2 alongside the potential building platform area. If the sheds on the south-eastern boundary are removed this area shall also have a 3m strip of native planting.

Advice notes:

It is recommended that when developing the sites the Consent Holder have consideration towards the landscape assessment and mitigation proposed by Blue Marble Landscape Architects in the application including development restrictions, design controls, and landscape recommendations.

A Development Contribution for off-site services of \$1104 plus GST for Lot 2 is payable by the applicant and shall be invoiced separately. The 224 release of this subdivision will not be approved until payment of this contribution is made.

*This consent lapses on **10 December 2014** unless the consent is given effect to before that date; or unless an application is made before the expiry of that date for the Council to grant an extension of time for establishment of the use. An application for an extension of time will be subject to the provisions of section 125 of the Resource Management Act 1991.*

This consent is subject to the right of objection as set out in section 357A of the Resource Management Act 1991.

DATED: 10 December 2014



Rowan Williams
TEAM LEADER CONSENTS



11th May 2015

Our Ref: 7735

The Manager Consents
New Plymouth District Council
Private Bag
New Plymouth

Attention Mrs C Dingle

Dear Colleen

255 Lower Weld Road: LT 484251 RC 46269

Land Transfer Plan LT 484251 has been submitted to New Plymouth District Council via Landonline for the processing of Section 223 & 224 Certificates.

Attached are the following:

- Subdivision Plan Approval Form
- Engineers Report
- Title Plan
- A cheque for \$2224.60 covering Approval Fees & Development Contribution.

Responses to other compliance requirements of the Subdivision Consent are as follows:

- **Condition 4**
The Survey Plans conforms with the Subdivision Plan.
- **Condition 5**
All Buildings meet the Standards.
- **Condition 6**
Waste Water disposal system within Lot 1 is wholly within in Lot 1
- **Condition 7**
The existing Vehicle Access has been widen to Council Standards
- **Condition 8**
Bulk Location and Design Controls – will be complied with by the way of consent notice

Yours faithfully

Mark Bland
Licensed Surveyor
BSurv, MNZIS
mark.bland@bjst.co.nz
7735NPDC

REGISTERED PROFESSIONAL SURVEYORS
MEMBERS OF CONSULTING SURVEYORS OF NEW ZEALAND
PO Box 637, 19 Dawson St, New Plymouth 4340 | Ph: 06 758 6171

GEOFF BLAND B.Sc. M.N.Z.I.S
COLIN JACKSON B.Sc. M.N.Z.I.S
MARK BLAND B. Surv. M.N.Z.I.S
VAUGHAN MACLEAN B. Surv. M.N.Z.I.S
VAUGHAN REDSHAW B. Surv. M.N.Z.I.S



2.0 Stormwater

We completed a visual inspection of the soil type and determined lot 2 is covered with volcanic ash soil with a moderately well drained permeability characteristic. Generally soakholes in moderately well drained soil conditions act as immediate water storage in heavy rainfall events with water slowly soaking into the surrounding land over a period of time after the event. As this is a rural subdivision dwellings are likely to collect stormwater and use it on site but in our opinion standard soakholes designed and constructed in accordance with the NZBC are a suitable method for the disposal of collected stormwater without creating any adverse effects to the land provided there is adequate separation to boundary lines and dwelling foundations. We recommend that drilled soak holes be placed a minimum of 20 meters away from the western boundary line to the right of way and sealed surfaces shall not direct collected stormwater over banks of the right of way.

The following photos show the general lie of the land.



Photo 1. A view looking over the upper area of lot 2 potential building platform. The ground surface gently slopes down to the left, west, of the photo.



Photo 2. Looking north over the western, lower, area of the potential building platform of lot 2. The existing right of way is to the left of the photo.

3.0 Wastewater

Soil types of sandy/loam volcanic ash typically have a Saturated hydraulic conductivity (K_{sat}) of approximately 1.0-1.5 meters per day (m/d) and a design loading rate for effluent bed absorption of 15mm/day. In our opinion lot 2 provides suitable soil conditions for the disposal of wastewater via appropriately designed wastewater system to the current NZS 1547 guidelines.

The wastewater disposal field shall be located at least 50m from any well or bore and 25 meters from any wetland area and shall be placed where the ground surface is relatively flat. We also recommend that the onsite disposal field be placed at least 20 meters away from the western boundary line to the right of way.


4.0 Limitation

The geotechnical opinions and recommendations contained in this report are based on the site conditions as they existed during our site visit and we have assumed that the exploratory holes and soil tests are representative of subsurface conditions throughout the potential building platform areas. We should be notified of any subsurface conditions which appear to be different from those identified by this investigation so that these conditions may be reviewed and our recommendation reconsidered where necessary.

The above site investigation did not include site inspection for chemical contamination of subsoil.



LOT 2 ENGINEERING SITE PLAN

Note:  Existing Secondary Flow Path approximate direction. Flow paths shall be maintained as they currently exist after the development of the section.

Potential building area may also be subject to council boundary separation distances.



Soil probe tests and soil investigation approximate locations

Refer to Bland & Jackson Surveyors plan for most current subdivision details.

If you require any further information or wish to discuss this report you are welcome to contact us.

Yours faithfully

Matt Peacock
 BE, Structural Engineer, CPEng, MIPENZ



11 November 2014

Manager Consents
New Plymouth District Council
Private Bag 2025
New Plymouth 4342

REGISTERED PROFESSIONAL SURVEYORS
MEMBERS OF CONSULTING SURVEYORS OF NEW ZEALAND
PO Box 637, 19 Dawson St, New Plymouth 4340 | Ph: 06 758 6171

GEOFF BLAND B.Sc. M.N.Z.I.S
COLIN JACKSON B.Sc. M.N.Z.I.S
MARK BLAND B. Surv. M.N.Z.I.S
VAUGHAN MACLEAN B. Surv. M.N.Z.I.S
VAUGHAN REDSHAW B. Surv. M.N.Z.I.S

Our Ref: 7735

Attention: Miss R Williams

Dear Rowan

Resource Consent Application: 2 Lot Rural Subdivision

Herewith for Council's consideration is a Resource Consent application for a subdivision proposal as follows:

1.0 Application Details

Applicant	Graeme Beaton
Location	255 Weld Road Lower, Oakura
Description	Lot 1 DP 393350
Consent Sought	Subdivision Consent
Environment Area	Rural
Activity Status	Discretionary

2.0 Subdivision Proposal

The applicant owns the property located at 255 Weld Road, Oakura. This is a 6.1580ha rural/lifestyle property located approximately 2.5km down Weld Road Lower. There is an existing dwelling and associated outbuildings, and a number of farm buildings located on the property, which is grazed.

The purpose of the subdivision is to subdivide off the existing dwelling, creating its own allotment. This will be sold and the applicant will build a new dwelling on the balance land. The land itself will continue to be used as it is currently.



3.0 District Plan

The land being subdivided is located in the Rural Environment Area (Map E2); there are no Overlays affecting the property.

The proposed subdivision considered as a fully Discretionary Activity due to the size of proposed allotments and because some of the existing buildings will not meet the required setbacks relative to the proposed new boundaries.

3.1 Lot Sizes

Rule Rur78 specifies the following standards for minimum lot sizes in the Rural Environment Area:

- Controlled Activity - one allotment of not less than 4000m² provided there is a 20ha balance from the parent title (CFR as at 5 March 1999).
- Restricted Discretionary Activity - up to three allotments of not less than 4000m² provided there is a 20ha balance from the parent title.
- Fully Discretionary Activity – up to four allotments of less than 20ha provided that the balance from the parent title is:
 - ≥20ha
 - >4ha and no more than 5 allotments in total have been subdivided from the parent title.

Where these standards are not met, the application is considered as a Non-complying Activity.

The proposed subdivision will create:

- Lot 1 of 0.534ha
- Lot 2 of 5.625ha

The Computer Freehold Register for the property (373769) is dated 4 April 2008. As at 5 March 1999, the property was comprised of Lot 2 DP 16300 (Figure 1).

Subsequently it was subdivided into:

- Lot 1 DP 315057 of 7455m²
- Lot 1 DP 328657 of 8006m²
- Lot 1 DP 393350 of 6.158ha
- Lot 2 DP 393350 of 4.0616ha.

(refer Figure 2)

Accordingly, the parent title currently has been subdivided into 4 allotments, all less than 20ha in area.





Figure 1: The parent property as at 5 March 1999



Figure 2: The current allotments, including the application site

The current application is to subdivide Lot 1 DP 393350 into two allotments. This will result in 5 lots of less than 20ha being subdivided from the parent title but as two of these have areas of greater than 4ha, the subdivision is considered as a Discretionary Activity in terms of Lot size.



3.2 Access

Rule Rur79 requires all allotments to provide practicable vehicular access from a road. Weld Road Lower is a Local Road in this location.

The dwelling on proposed Lot 1 will continue to obtain access by way of the existing vehicle crossing. Proposed Lot 2 would obtain access via a 6.1m wide access leg located next to the southern boundary of the property.

The existing vehicle access point serving the adjoining right of way is partly formed across the proposed access to Lot 2. This would be formed to the requirements of the District Plan.

3.3 Services

Rule Rur81 requires provision for the disposal of stormwater, supply of water and disposal of sewage to be made for each of the allotments created by the subdivision.

There are no available water, sewer or stormwater mains in the vicinity of the property. The existing dwelling utilises on-site roof water collection, with any excess stormwater discharged to ground-soakage, and on-site sewage treatment by way of septic tanks and soakage fields. These will be located wholly within the boundaries of proposed Lot 1.

Any dwelling built on proposed Lot 2 could utilise similar means.

3.4 Building Platforms

Rule Rur82 specifies that each allotment must contain a building platform in accordance with the requirements of the New Zealand Building Code – Acceptable Solution B1/AS4 of Approved Document B1/4: Structure Foundations. This area shall not include any area of land to be used for access or for the disposal of wastewater or stormwater, and shall allow the building to comply with the conditions for a permitted activity under the District Plan.

There is an existing dwelling located on proposed Lot 1.

It is proposed to erect a new dwelling in the south-eastern corner of proposed Lot 2 and accordingly a report was commissioned by SET Engineering to assess the suitability of the site for this purpose. A copy of the report is attached. In the report it is concluded that the ground condition in the proposed location is suitable for building a residential dwelling on in compliance with the requirements of NZBC B1/AS4.

Accordingly, the requirements of this rule are met.



3.5 Existing Buildings

Rule Rur83 specifies that any existing buildings are required to meet the standards for a permitted activity relative to the new boundaries.

There is an existing dwelling located on proposed Lot 1 and some farm buildings on proposed Lot 2. The existing garage located on proposed Lot 1 is located approximately 7m from the new boundary and the existing sheds on proposed Lot 2 approximately 6m from the new boundary. Accordingly, the proposed subdivision is considered as a Discretionary Activity with respect to this rule.

4.0 Consultation Undertaken

Consultation has been undertaken with the following, per the advice from the Council:



1. 271 Weld Road Lower (Lot 1 DP 315057) - Mark Hartley
2. 141 Ahu Ahu Road (Lot 1 DP 6946) - Barry & Janet Goble
3. 235 Weld Road Lower (Lot 1 DP 328657 & Lot 1 DP 432478) - Ian Hancock & Sarah Pye
4. 247 Weld Road Lower (Lot 2 DP 393350) - Fi's Trees Limited (Fiona Churchman)
5. 247 B Weld Road Lower (Lot 2 DP 432478) - Nicholas & Abigail Hackling
6. 283 Weld Road Lower (Lot 1 DP 16300) -Terry & Lynley Knauf

Written approval has been obtained from all landowners and is appended to this application.



5.0 Easements and Encumbrances

The property is subject to easements for electricity and water; these will not be affected by the proposed subdivision.

No new easements are proposed.

6.0 Assessment of Effects

The applicant proposes to undertake a subdivision of the property located at 255 Weld Road Lower, Oakura. The subdivision will subdivide off an existing dwelling, enabling the applicant to build a new one on the balance lot.

The subdivision is considered as a Discretionary Activity due to the size of the proposed allotments and because some of the existing buildings will not meet the required setbacks relative to the existing boundaries.

Character and amenity

The District Plan identifies Environment Areas – recognising areas of distinct environmental character that have been created through the aggregation of similar types of activities.

The Rural Environment Area includes all the land outside urban areas in the New Plymouth District. The elements associated with the rural environment include spaciousness, low density built form, vegetation (such as pasture, crops and forest), rural noises and smells. These elements have largely developed as a result of traditional rural practices such as farming, horticulture and the like. More recently, the rural landscape has incorporated provision for lifestyle developments.

The District Plan contemplates the creation of up to 4 smaller (lifestyle) allotments within the rural environment by providing for such as a Discretionary Activity where there is a 4ha+ balance; this enables the merits of such an application to be considered on a case-by-case basis through the consent process with emphasis on matters of rural character.

Rural character is a broad concept identified by the various elements that make up the rural environment. It is often a result of the land use practices that have been undertaken and can evolve over time. People's appreciation of rural character is rural amenity.

The District Plan includes the following assessment criteria as a guide to assessment of an application for a Discretionary Activity:



Subdivision:

- 1) *The effect of the subdivision on the ability to maintain RURAL CHARACTER.*
- 2) *Whether the environment is spacious and maintains a low density built form and results in a low intensity of use typical of rural areas.*
- 3) *If there is a large balance area and whether the balance area and/or the subdivided ALLOTMENTS ensures the continued production orientated nature of RURAL CHARACTER.*
- 4) *Consideration towards the number of ALLOTMENTS proposed and if they will lead to intensive land uses that are not typical of RURAL CHARACTER;*
- 5) *Whether the subdivision and resulting built form will be highly visible in the landscape or whether this can be avoided, remedied or mitigated by the placement of identified BUILDING platforms or other design and layout considerations.*
- 6) *Design and visual treatment of the subdivision and resulting development including consideration towards techniques such as softening with vegetation, screening, planting, boundary treatment and BUILDING and STRUCTURE design, and the use of materials, colour and reflectivity.*
- 7) *The subdivision and resulting BUILDING platforms do not require substantial EXCAVATION and FILLING and consideration towards reinstatement.*
- 8) *Whether INFRASTRUCTURE is small in scale and that the subdivision is generally un-serviced with a lack of urban INFRASTRUCTURE to an extent typical of the rural environment.*
- 10) *The cumulative effects of the subdivision.*
- 11) *Whether alternatives to the subdivision have been considered including location, sizes and the number of ALLOTMENTS.*
- 12) *Whether appropriate vehicle access can be provided and consideration towards the location of DRIVEWAYS.*
- 18) *Effects of ALLOTMENT size and shape on the RURAL CHARACTER of the area, amenities of the neighbourhood and the potential efficiency and range of uses of the land.*
- 19) *Whether the subdivision will lead to increased land use conflicts and reverse sensitivity concerns.*
- 20) *The effect of any methods used to make the ALLOTMENT suitable for the purpose of the subdivision on:*
 - *the land form;*
- 23) *Whether the size of the ALLOTMENTS enables use of them in compliance with the relevant rules of the plan for permitted activities or standards and terms for controlled activities (i.e. setback requirements, etc).*
- 24) *Whether the non-compliance of BUILDINGS with the required standards for permitted activities will adversely affect the character or other aspects of the environment.*
- 26) *Effects on existing traffic levels, the ROAD TRANSPORTATION NETWORK, the rural ROAD HIERARCHY, ROAD widening, access, stormwater management, POTABLE WATER supply, and wastewater reticulation.*
- 32) *Any proposed measures to avoid, remedy or mitigate adverse effects, including any environmental compensation proposed.*



A Landscape & Visual Impact Assessment has been prepared by Richard Bain from bluemarble landscape architects to assess the impacts of the proposed subdivision on the landscape, general and visual amenity, and rural character. The report assesses the visual and landscape effects of the proposed subdivision both against the local receiving environment and relative to the wider context of rural character and amenity across the District.

The New Plymouth District's rural environment is comprised of a mixture of elements and attributes synonymous with agricultural and other intensive land management practices, randomly distributed amongst the naturally occurring landscape features of the region. This creates a rural environment where no two localities are quite the same.

Weld Road is located to the west of Oakura and *"represents the township's increasingly vigorous rural-residential fringe"*. The landform along Weld Road falls steadily north towards the sea, with rolling topography and flat areas of land adjoining weld road. The flatter land is arable and used for farming and similar lifestyle practices whilst the gullies are generally less developed.

Weld Road retains many strong rural characteristics with the landscape still being largely spacious and open and with development of a rural nature including gravel driveways, post and wire fencing and swales. However, it is noted that the land is in transition from open pastureland to rural-residential living, characterised by small lots sizes and an intensification of land use. New lifestyle allotments are clustered amid open pastureland.

The land essentially functions as an interface between town and country, exhibiting a mix of land uses from the wholly residential to larger rural land management practices.

The site of the proposed subdivision is located approximately 2.5km from the intersection of Weld Road Lower with State Highway 45. Lot 1 is essentially the existing house and its immediate surrounds comprised of flat land adjacent to Weld Road, much of which is covered with amenity and shelter vegetation. Lot 2 comprises the remainder of the site which is currently defined by two levels – a flat elevated area on the eastern portion (on which it is proposed to erect the house) and a lower area to the west. *"There is a clear demarcation between the house environs and the farm to which the house currently belongs"*.

The effects on landscape values depend on the ability of the landscape to absorb change without substantially altering or compromising its existing character. This depends on existing land uses, the degree of naturalness and topography, the pattern and scale of the landscape, visual enclosure/openness of views and the scope and opportunity for mitigation in keeping with the existing landscape.



It is stated in the report that the site is considered to have a 'medium capacity' to absorb change. The site itself has been modified and managed for economic imperatives (farming) and there are a number of lifestyle blocks in the general locality with associated buildings. The proposed subdivision is 'modest' in scale and retains a large balance area (proposed Lot 2) which will maintain the overall spaciousness of the area.

The proposed boundary of Lot 1 follows the existing occupation of this area and incorporates the existing amenity vegetation. This is considered to be a discrete landscape unit, clearly orientated and associated with Weld Road Lower. Essentially the use of this area will not change significantly.

Development of Lot 2 will result in a change to the landscape but it is considered that this will not be out of keeping inconsistent with the receiving environment. The applicant has already undertaken planting along the western portion of the boundary of proposed Lot 2 where it adjoins the existing right of way, in the locality of the proposed building site. The proposed building site itself is tucked away behind the existing dwelling and amenity planting on proposed Lot 1. It is noted that those parties considered most likely to be affected by the proposed subdivision and subsequent development of Lot 2 have provided their written approval to the application.

The report concludes that the proposed subdivision will have a low adverse effect on rural character and that the effect on landscape character will not be significant.

A number of mitigation measures are proposed. They have been developed in response to the likely or potential effects of the subdivision on the receiving environment and are intended to ensure the development can occur without significant effects.

The following development restrictions and design controls are recommended:

Ref	Proposed mitigation	Lot 1	Lot 2
	<u>Building controls</u>		
9.1.1	Any second dwelling on proposed Lot 2 shall be related in appearance, location and overall aesthetic to a 'master dwelling' and shall be no more than 50% the size.		✓
9.1.2	No-habitable building zone (Lot 2).		✓
9.2.1	All roofs, walls, garages, sheds and shed doors to be limited to recessive colours and < 37% LRV (Lot 2).		✓



Ref	Proposed mitigation	Lot 1	Lot 2
	<u>Boundary treatments/driveways</u>		
9.2.2	Solid fences shall not be erected at the road crossing or any other location on any lot.	✓	✓
9.2.3	Driveway surfaces and crossings shall be contiguous with others in the area (dark surfaces such as chip seal or gravel)		✓
	<u>Vegetation/landscaping</u>		
9.3.1	All water tanks shall be dark, and have reflectance values of less than 15%. They shall be screened or buried so as not to be visible from adjacent receptors.		✓
9.3.2	If the sheds on Lot 2 are removed, a 3m deep strip of native planting shall be installed along the southern boundary of Lot 2 up to the no-habitable building zone.		✓
9.3.3	If a second dwelling is erected on Lot 2, this shall be screened and softened by the establishment of native vegetation in a natural arrangement.		✓

The mitigation measures have been designed to ensure the effects of the development do not adversely affect rural character and amenity.

Servicing and Vehicle Access

Proposed Lot 1 has an existing dwelling located on it and servicing of this allotment will not be affected by the proposed subdivision.

A new dwelling is to be built on proposed Lot 2 and on-site services will need to be provided. Roof water collection will be utilised and on-site sewage treatment and stormwater disposal. As noted in the SET report, it is considered that the proposed building site is suitable for these purposes. Accordingly, new infrastructure will be in keeping with the rural nature of the environment.

Access to proposed Lot 1 will continue to be by way of the existing vehicle access and driveway serving this allotment. Access to proposed Lot 2 will be by an access leg located next to an existing right of way. There is existing unformed (farm) access here and it is separated from proposed Lot 1 by way of existing vegetation. As per the mitigation proposed in the landscape report, this will be rural in nature and in keeping with the surrounding environment.

The subdivision will lead to a minor increase in traffic and other effects associated with the development but this is not considered in terms of the receiving environment.



Overall it is considered that the effects of the proposed subdivision will be no more than minor.

7.0 Documentation

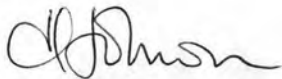
Included for Council's information are the following:

- New Plymouth District Council Application forms required
- Three copies of the proposed subdivision scheme plan
- A copy of Computer Freehold Register 373769
- A copy of the relevant District Plan Map
- A copy of the visual and landscape Assessment
- Written approval from affected parties

8.0 Application Fees

Please invoice application costs to this office's account.

Yours faithfully



H Johnson

Senior Planner

Helen.johnson@bjsl.co.nz

7735RC





LANDSCAPE & VISUAL IMPACT ASSESSMENT

BEATON SUBDIVISION

255 Lower Weld Road
New Plymouth

Written By: Richard Bain
bluemarble

June 2014

bluemarble
A world of difference



Lot 2 is currently farmed and currently defined by two levels. A top flat area on the eastern portion, and a lower area to the west. It is anticipated that upon subdivision, a house will eventually be located in the south-eastern portion of Lot 2 (immediately north of the two farm sheds).

2. LANDSCAPE CONTEXT

Weld Road is located west of Oakura and represent the township's increasingly vigorous rural-residential fringe. This area is in transition from open pastureland, associated with daily and grazing activity, to rural-residential living, characterised by smaller lot sizes and increasing intensification of land-use. This is evidenced by the clustering of new houses associated with subdivision, amid open pastureland. The proximity to the ocean also provides some coastal character but its influence is limited by distance.

See Fig. 1 for a broad overview of the receiving environment.

See Fig. 2 for aerial image illustrating landform and layout.



Figure 1: Landscape Context - Broader Receiving Environment

Peri-urbanisation of rural land adjacent to urban areas is evident along much of the district's coastal strip. It is most intensive closest to New Plymouth, but is also clustered around Oakura. Surrey Hill Road, Ahu Ahu Road, and Weld Road contain significant numbers of rural-residential properties as people seek rural ambience within close proximity to Oakura. Functioning as the interface between town and country, these areas exhibit a mix of land uses from this



Figure 2: Aerial Image illustrating landscape elements

that are wholly residential to those that are much larger and wholly defined by rural land management practices on a much larger scale. Weld Road provides residents with close proximity to the sea, as well as easy access to Oakura and New Plymouth via SH 45.

The landform along Weld Road falls steadily north towards the sea and therefore provides elevated positions for sea views, as well as close views towards the Kaitake Ranges and Mount Taranaki. Rolling topography provides privacy and separation between dwellings as well as the facilitation of a variety of land management practices. Flat, arable areas of land along the edges of Weld Road tend to support animal husbandry including horse stables, livestock and grazing whereas the long gully that runs between Weld and Timaru Roads affords more limited land-use opportunities but does provide privacy and shelter.

Weld Road's experiential journey is characterised by varied and changing land use.

3. SITE CONTEXT & CHARACTER

The subject site is located 2.5km from the junction of Weld Road and SH45, and is a similar distance, as the crow flies, from Oakura - the closest residentially zoned area. The site sits within a narrow band of farmland squeezed between the Kaitake ranges and the Tasman sea. The character of the receiving environment is dominated by agrarian land use, but is increasingly becoming fragmented by rural-residential development (see Figure 3).

The site comprises 6.2ha of land on the western side of Weld Road. The site is flat around the existing house, and is more or less surrounded by vegetation. The road boundary is defined by a substantial swathe of bamboo. This is similar and consistent with other established properties on Weld Road.

The western portion of the property consists of pasture which slopes steadily to the Timaru Stream, at which the land rises steeply to Timaru Road. In essence the subject site sits on the eastern flank of a wide shallow gully.



Figure 3: Lot sizes in Receiving Environment



Figure 4

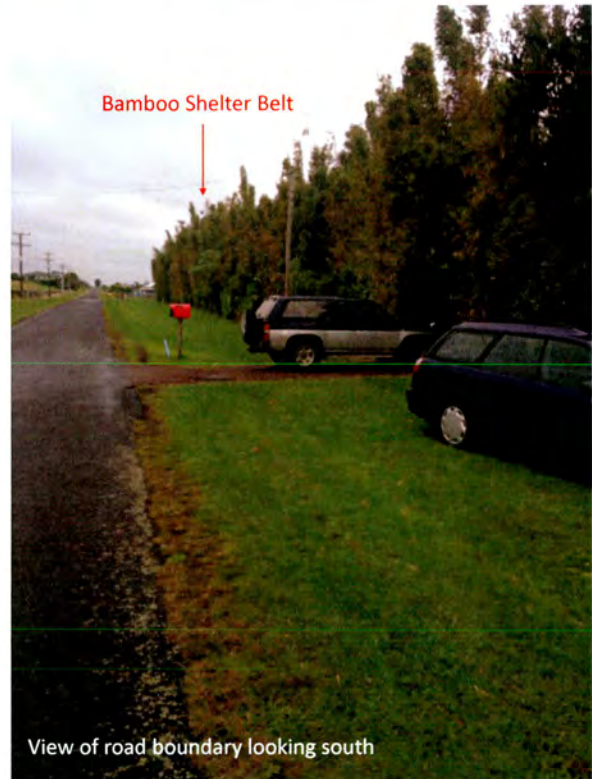


Figure 5



Figure 6



Figure 7

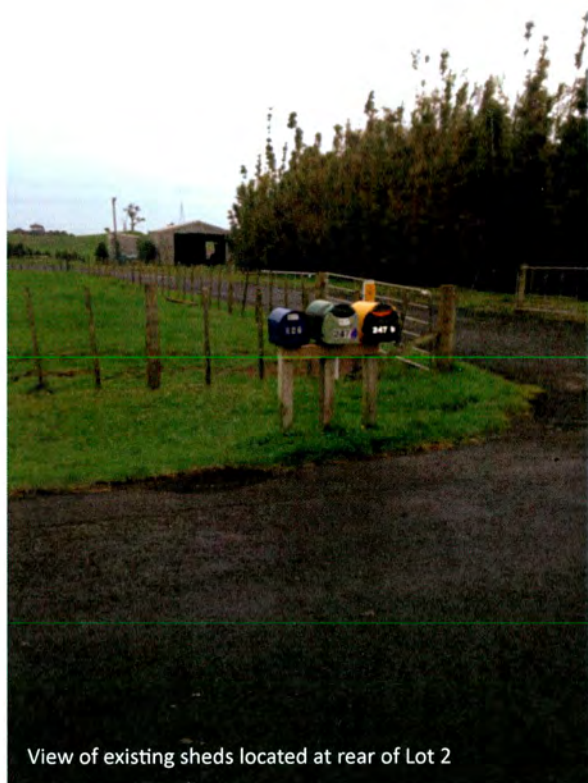


Figure 8



Figure 9



Figure 10



Figure 11



Figure 12



Figure 13



Figure 14

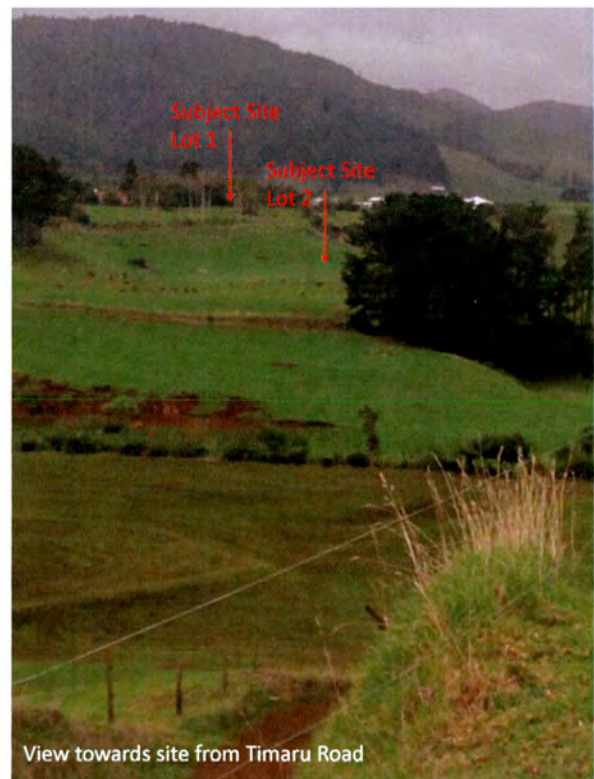


Figure 15

7. Assessment of Visual Effects

Public and private receptors have been identified for sensitivity by onsite investigation and map analysis. The receptor location plan (fig. 20) shows the location of each receptor with respect to the subject site. Some receptors are assessed as being not sensitive to change due to distance and or topography.

Effects on receptors are examined using “worst case” scenarios and take account of the uncontrolled elements of subdivision and their flow on effect on landscape character. These activities include, but are not exclusive to, building location, design controls, colour, reflectivity, earthworks, landscape mitigation and access. Table 2 summarises the assessment of visual effects with respect to the visual effects methodology outlined in Appendix iv.

R1: Receptor 1:	235 Weld Road - Adjacent Southern Neighbour
R2: Receptor 2:	271 Weld Road - Adjacent Northern Neighbour
R3: Receptor 3:	283 Weld Road - Adjacent Northern Neighbour
R4: Receptor 4:	247 Weld Road - Adjacent Southern Neighbour
R5: Receptor 5:	247A Weld Road - Close Southern Neighbour
R6: Receptor 6:	247B Weld Road - Adjacent Southern Neighbour
R7: Receptor 7:	247 Weld Road - Distant Southern Neighbour
R8: Receptor 8:	Timaru Road Pubic Viewpoint - Distant Western View



Figure 16: Receptor Location Plan

Thus, conditions pertaining to building location, colour, and vegetation are particularly relevant to the retention of their rural amenity.

We recommend the following mitigation measures be adopted within the subdivision consent. With their adoption we submit that the proposal will create a **no more than minor** effect on rural character and amenity.

9. MITIGATION

The purpose of these recommendations is to mitigate any likely, or potential, adverse effects created by the proposed subdivision. The previous sections have analysed and outlined the likely effects the subdivision will create on the receiving environment's rural amenity. Mitigation recommendations have been developed in response to these effects and aim to ensure the development can occur with no more than a minor effect.

9.1. DEVELOPMENT RESTRICTIONS

9.1.1. **Lot 2:** Any second dwelling (as contemplated within the District Plan) which is constructed within Lot 2 shall be related in appearance, location and overall aesthetic to a 'master dwelling'. I.e: one shall be outwardly and visually subservient in appearance to the other - no more than 50% the size of the 'master dwelling'. See Landscape Recommendations for further information pertaining to this.

9.1.2. **Lot 2:** A No Habitable Building Zone applies from 135m west of the Weld Road boundary, as shown in Fig 17.



Figure 17: Building Zone Restriction

Appendix i - Scheme Plan



S:\Documents\Proposals\2014\IP2014_195 G Beaton Weld Road Lower\12\G Beaton Scheme Plan G Beaton Scheme Plan



Lot 1
DP 16300

Lot 1
DP 432478

Lot 2
5.625Ha

Lot 2
DP 393350

Lot 1
0.534Ha

Potential
Building
Platform

15m


15m

Weld Road Lower

NOTES:

APPROVED
Rc No: 50814/46269
Date: 10/12/14
Sign: Bleauing

This plan is produced for the sole purpose of obtaining a subdivision consent under the RMA 1991. Dimensions and areas are subject to final survey. The use of this drawing for any other purpose is at the users risk.


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LAND & ENGINEERING SURVEYORS
www.bjst.co.nz

PROJECT:

Proposed Subdivision of
Lot 1 DP 393350

Address: 255 Weld Road Lower

REV.

No.	DESCRIPTION	DATE	DR	APPR
0	Issued	4.06.14	cf	gb

CLIENT

G Beaton

ORIGINAL SCALE

1:1500 (A3)

DATE

JUN 14

DO NOT SCALE OFF DRAWING

PROJECT NO.	TYPE	REV.	Sheet No.
7735	S00	R00	1/1



LIM information divider



NPDC

MAP KEY

NOTES

ENVIRONMENT AREAS

Residential	<div>Res.A-C</div>
Rural	<div></div>
Business	<div>Bus.A-D</div>
Industrial	<div>Ind.A-F</div>
Open Space	<div>O/S A-C, O/S Port Taranaki</div>

All public roads, including state highways, have the same zoning as adjoining sites. Where a road has different environment areas on either side, each side of the road takes on the zoning of the adjoining site with the centre line of the road

OVERLAYS

Future Urban Development	<div>FUD</div>
--------------------------	----------------

Designations

Govt. Departments, Network Utilities and Local Authorities	<div>L123</div>
All Public Roads (including State Highways)	<div>EXAMPLE STREET</div>
Proposed Road Widening	<div>L71</div>

Refer to Appendix 4 - Schedule of Designations and to section 3 of these maps for detail of proposed road widening and service lanes.

All public roads and state highways are designated.

Hazards

Coastal	<div>H1</div>
Flood Detention Areas & Spillways	<div>H2a</div>
Ponding Areas	<div>H2b</div>
Flood Plain	<div>H2c</div>
Volcanic	<div>H3 or H3</div>

Where the area affected by a hazard is large a border only has been utilised to improve map clarity.

Fault Line	<div></div>
------------	-------------

Fault Line (Approximate)	<div></div>
--------------------------	-------------

Airport Flight Path Surface	<div></div>
-----------------------------	-------------

Refer to Appendix 11 - New Plymouth Airport Flight Surfaces and section 3 of these maps for more detail. Airport Flight Path Surface is divided into four zones.

Urban Viewshafts	<div>1 2 3</div>
------------------	------------------

Refer to section 3 of these maps for full details of the urban viewshafts. Urban viewshafts are divided into sections, denoted on the maps as 1, 2 or 3.

Coastal Policy Area	<div></div>
---------------------	-------------

Priority Water Bodies	<div>P.W.B.</div>
-----------------------	-------------------

Refer to Appendix 18.

Significant Coastal Areas	<div>2</div>
---------------------------	--------------

Refer to Appendix 20.

Significant Natural Areas	<div>2</div>
---------------------------	--------------

Refer to Appendix 21.

Preferred Esplanade Reserves & Strips	<div>25</div>
---------------------------------------	---------------

Refer to Appendix 17.

Outstanding Landscape	<div></div>
-----------------------	-------------

Regionally Significant Landscapes	<div></div>
-----------------------------------	-------------

NP Entrance Corridors	<div></div>
-----------------------	-------------

Waahi Taonga/Sites of Significance to Maori & Archaeological Sites (Extent shown in orange)	<div>748 or 501</div>
---	-----------------------

Refer to Appendix 26. Location and extent of waahi taonga/Sites of Significance to Maori and archaeological sites is indicative only. Broken triangles represent silent files which are accurate to parcel only.

Heritage Buildings & Items	<div>3</div>
----------------------------	--------------

Refer to Appendix 8.

Notable Trees	<div>123 or 150</div>
---------------	-----------------------

Refer to Appendix 13.

Where a symbol has a shadow line, this indicates a group of notable trees is located on the site.

Defined Retail Frontage	<div></div>
-------------------------	-------------

High Voltage Electricity Transmission Lines (766kV)	<div></div>
---	-------------

Energy Pipelines	<div></div>
------------------	-------------

Noise Control Boundaries	<div></div>
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Refer to Appendix 12. Port Taranaki Noise Control Boundaries: Planning Maps C21,C22,C23,D22. Airport Noise Control Boundaries: Planning Maps C5,D5,A30,A31.

Indicative Collector Road	<div></div>
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Indicative Local Road	<div></div>
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Indicative Pedestrian Route/Link	<div></div>
----------------------------------	-------------

OTHER

State Highway Limited Access Road	<div></div>
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Refer to Appendix 23 Part A.

State Highway	<div></div>
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Arterial Road	<div></div>
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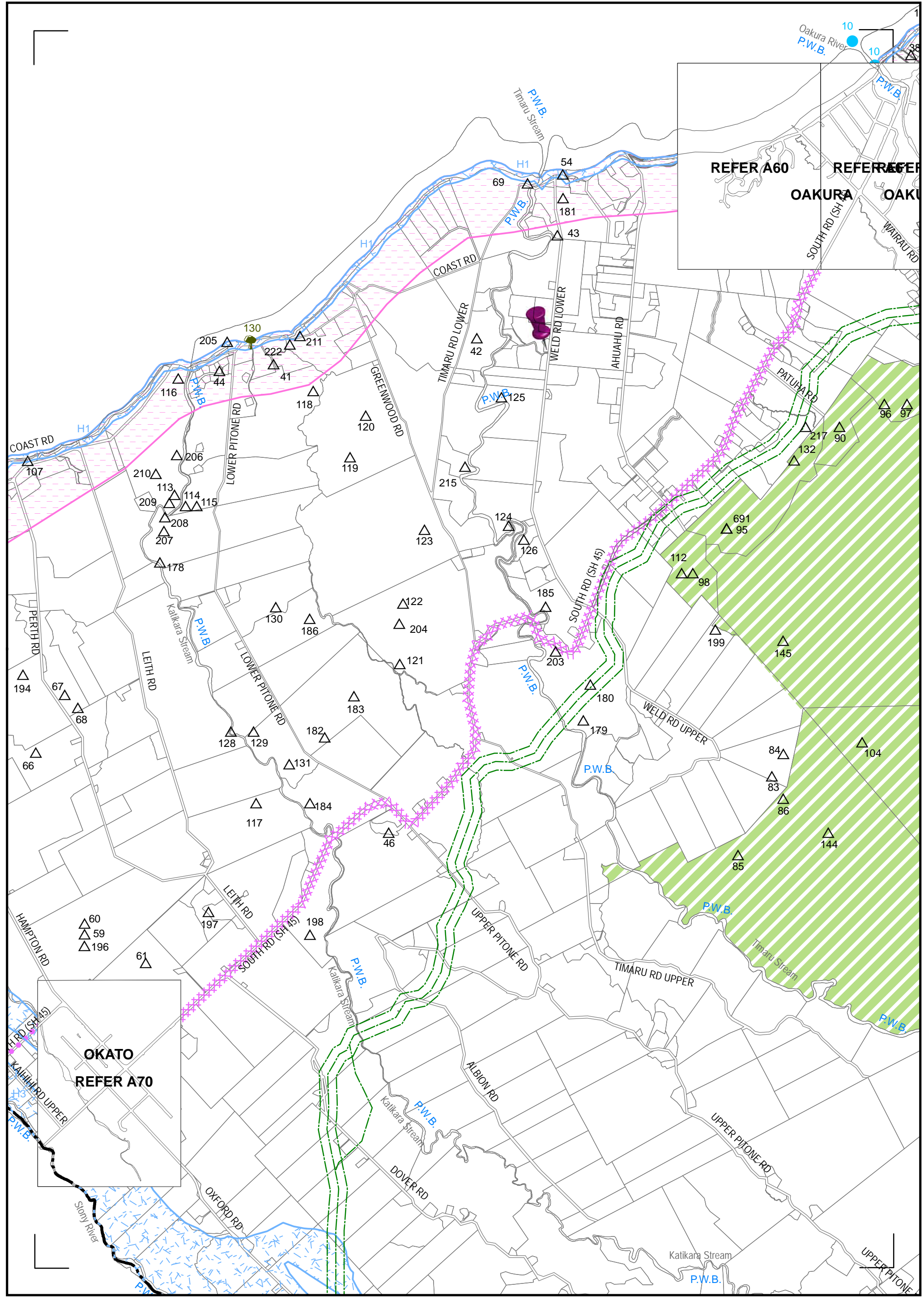
Collector Road	<div></div>
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Local Road	<div></div>
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District Boundary	<div></div>
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Indicative Rivers	<div></div>
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Structure Plan Area	<div></div>
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PLANNING MAP

E 2

RURAL

		D3
E1	E2	E3
F2	F3	



NEW PLYMOUTH DISTRICT COUNCIL
newplymouthnz.com

NEW PLYMOUTH DISTRICT PLAN

05001,0001,500

Metres

Scale 1:30,000

Amended May 2013 (Update 8g)
November 2022 (Update 8ay)
LINZ Base Map October 2022



On any State Highway the Designation is to provide for the control of access to State Highways and all functions, powers and operations of Transit New Zealand in accordance with the Transit New Zealand Act 1989



LIM information divider

LEGEND

Zones

- Low Density Residential Zone
- General Residential Zone
- Medium Density Residential Zone
- Rural Production Zone
- Rural Lifestyle Zone
- Local Centre Zone
- Large Format Retail Zone
- Mixed Use Zone
- Commercial Zone
- Town Centre Zone
- City Centre Zone
- General Industrial Zone
- Natural Open Space Zone
- Open Space Zone
- Sport And Active Recreation Zone
- Special Purpose - Airport Zone
- Special Purpose - Future Urban Zone
- Special Purpose - Hospital Zone
- Special Purpose - Māori Purpose Zone
- Special Purpose - Port Zone
- Special Purpose - Major Facility Zone

Precincts

- Precinct

Development Areas

- Development Area

Designations

- Designation

Viewshafts

- Viewshaft

Non-District Plan Layers

- Stormwater Flooding Area (Non-District Plan Layer)
- Parcel
- Highway

Note:

- This symbol will display on the planning map where there is both a Site of Significance to Māori and an Archaeological Site symbol that occur simultaneously in the same location.

Natural Hazards and Risks Overlays

- Coastal Flooding Hazard Area
- Coastal Erosion Hazard Area
- Flood Detention Area/Spillway
- Flood Plain
- Fault Hazard Area
- Volcanic Hazard Area
- Risk Management Contour

Historic and Cultural Values Overlays

- Heritage Building or Item
- Heritage Building Or Item Extent
- Heritage Character Area
- Archaeological Site
- Archaeological Site Extent
- Notable Tree
- Notable Tree Group
- Entrance Corridor

Site of Significance to Māori

- Site of Significance to Māori
- Site of Significance to Māori (Silent File)
- Site of Significance to Māori Extent 50m/200m SASM/AS

Natural Environments Overlays

- Significant Natural Area
- Outstanding Natural Feature and Landscape
- Outstanding Natural Character
- Public Access Corridor

General District-Wide Matters Overlays

- Noise Control Boundary
- Coastal Environment
- Waterbody - River
- Waterbody - Lake
- Waterbody Catchment Control

Energy Infrastructure and Transport

- Airport Flight Path Surface
- Gas Transmission Pipeline
- Gas Transmission Pipeline Corridor
- Gas Transmission Station Corridor
- National Grid
- National Grid Subdivision Corridor
- National Grid Substation Corridor
- Railway Corridor

Roading Hierarchy

- State Highway
- State Highway - Limited Access
- Arterial Road
- Collector Road
- Local Road
- Pathway Connection

Indicative Road Transport Network

- Arterial Road
- Collector Road
- Local Road
- Pathway Connection

Specific Controls

- Coastal Frontage Site
- Contributory Building
- Goat Control Area
- Defined Pedestrian Frontage
- Specific Control Area

Height Management Area

- Area A
- Area B
- Area C
- Area D
- Area E
- Area F

Appeals

- Appeal

Planning Snapshot - Proposed District Plan - Appeals Version - Appeals

12/06/2024



Te Kaunihera-ā-Rohe o Ngāmotu

**New Plymouth
District Council**

255 Weld Road Lower, TATARAMAKA, NEW PLYMOUTH



Property ID 112943

Area 0.53 ha

Legal Desc LOT 1 DP 484251

Aerial View Map



District Plan Zoning



Proposed District Plan - Appeals Version

Rural Production Zone



Roading Hierarchy

Name: Weld Road Lower

Type: Local Road



Goat Control Area



Property

Rates 2023/24

Property ID: 112943

Area (ha): 0.5329

Capital Value: 790000

For more information, visit <https://www.npdc.govt.nz/>

Disclaimer:

New Plymouth District Council (Council) has made every reasonable effort to provide complete, accurate and up-to-date information in the ePlan. However, there may be errors and omissions. The Council does not warrant or guarantee:

- that the information is complete and accurate;
- that the information extracted when conducting a property search comprises all relevant information for the property;
- that the planning map information gives the exact location or size of features when viewed on the ground. Please note that the visibility of spatial layers on the map is scale dependent and that not all layers are visible by default.

The Council does not accept any responsibility or liability for any loss or damage (either direct or indirect) arising from the use or misuse of any of the information in the ePlan, or from any action or decision taken as a result of using the ePlan.

In addition to the information in the ePlan, the Council

Property

Land Value: 560000

Annual Rates: 2892.08

recommends users read the ePlan in full; seek professional planning or legal advice; request a LIM and/or talk to a Council planner.

Content within the ePlan is subject to change through the District Plan review process, plan changes and/or implementing national direction.

Plan Status - Appeals Version

The Proposed District Plan – Decisions Version (**PDP-DV**) was publicly notified on 13 May 2023 and the period for appeals on the PDP-DV ended on 26 June 2023. Council has prepared the Proposed District Plan – Appeals Version (**PDP-AV**), an annotated version of the PDP-DV which identifies the provisions that are subject to appeal. In the PDP-AV, provisions that are subject to appeal are identified with a red border and a red exclamation icon on the right-hand side. Mapped features subject to appeal are identified on the planning map with a red polygon. Rules that are not subject to an appeal are treated as operative (and any previous rule as inoperative) in accordance with section 86F of the Resource Management Act 1991.

Please note that the provisions identified and annotated as subject to appeal have been derived from the appeals that were filed and Council's current understanding of the scope of relief sought. The annotations reflect the position as of 14 September 2023. The provisions that are subject to appeal and consequential amendments are continually changing as the appeals progress and as each appeal is withdrawn, resolved or determined. The PDP-AV is therefore a 'living' document, which is intended to assist plan users. Council is not and will not be held responsible or liable for any misrepresentation, incompleteness, or inaccuracies associated with the annotated PDP-AV. Updates of the PDP-AV will be published to this ePlan, as and when is appropriate. Information on how the progress of appeals can be found on the appeals page of our website.



LIM information divider

DISCRETIONARY INFORMATION

This information is in addition to that is mandatory under Section 44A(2) of the Local Government Official Information and Meetings Act 1987 (LGOIMA).



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **685706**
Land Registration District **Taranaki**
Date Issued 19 June 2015

Prior References
373769

Estate Fee Simple
Area 5329 square metres more or less
Legal Description Lot 1 Deposited Plan 484251
Registered Owners
Neil Anthony Bentall and Beth Heidi Florence Bentall

Interests

Subject to a right to convey electricity over part marked A on DP 484251 specified in Easement Certificate 360024.3 - 3.5.1989 at 11:30 am

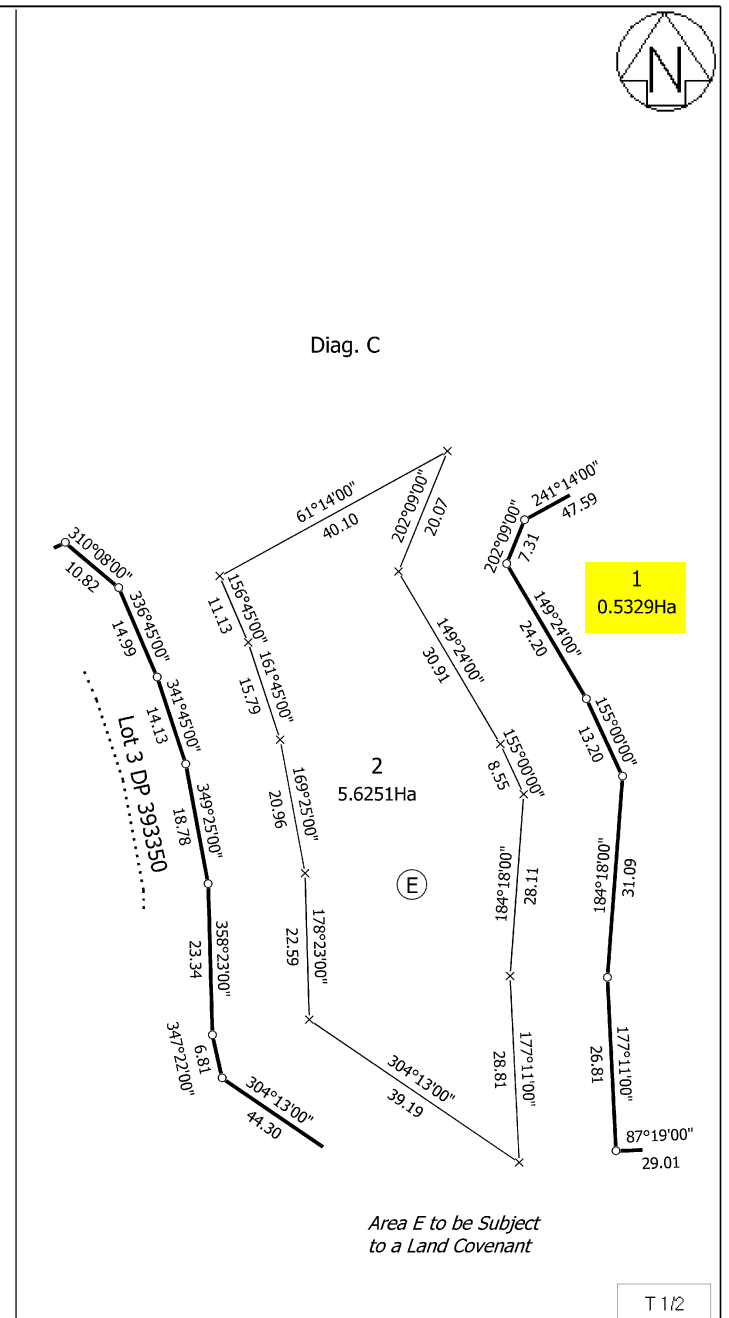
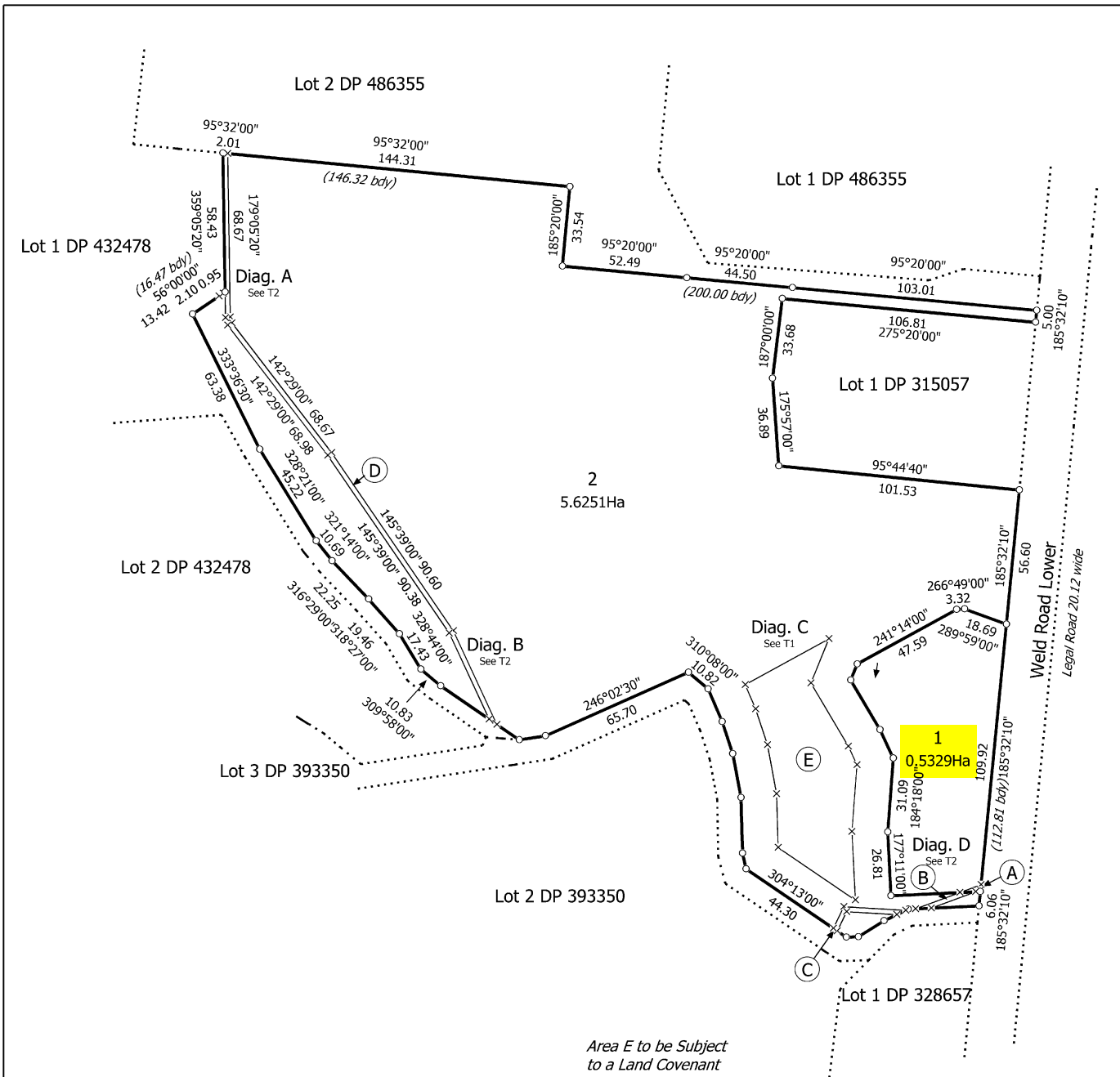
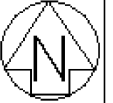
The easements specified in Easement Certificate 360024.3 are subject to Section 309(1)(a) Local Government Act 1974

Land Covenant in Easement Instrument 7784375.1 - 15.4.2008 at 9:00 am

10058782.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 19.6.2015 at 3:47 pm

10443774.2 Mortgage to Bank of New Zealand - 8.7.2016 at 1:56 pm

Land Covenant in Covenant Instrument 12565106.6 - 29.11.2022 at 4:08 pm





	Natural Source		Manhole		Backflow		Outlet		Trunk		Misc Polygon	Yellow = Privately Owned
	Treatment Plant		Alert Valve		Meter		Soakhole		Rise		Proposed Bund and Ponding Areas	Grey = Out of Service/Closed
	Pumpstation		Air Valve		Restricted Flow		End Point		Main		Storm Water Mgmt Plan	Stormwater
	Storage Unit		Non-Return Valve		Wellup		Node		Lateral			Water Supply
	Hydrant		Standard Valve		Inlet		Misc Point		Open Drain			Waste Water
			Manifold Valve						Stream			
									Overland Flow Path			

255 Weld Road Lower

HORIZONTAL DATUM
New Zealand Geodetic Datum 2000

MAP PROJECTION
New Zealand Transverse Mercator

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DISCLAIMER: NPDC assumes no responsibility for the completeness or accuracy of the data displayed on the plot. To be used for indicative purposes only.

Date: 12/06/2024

1:750